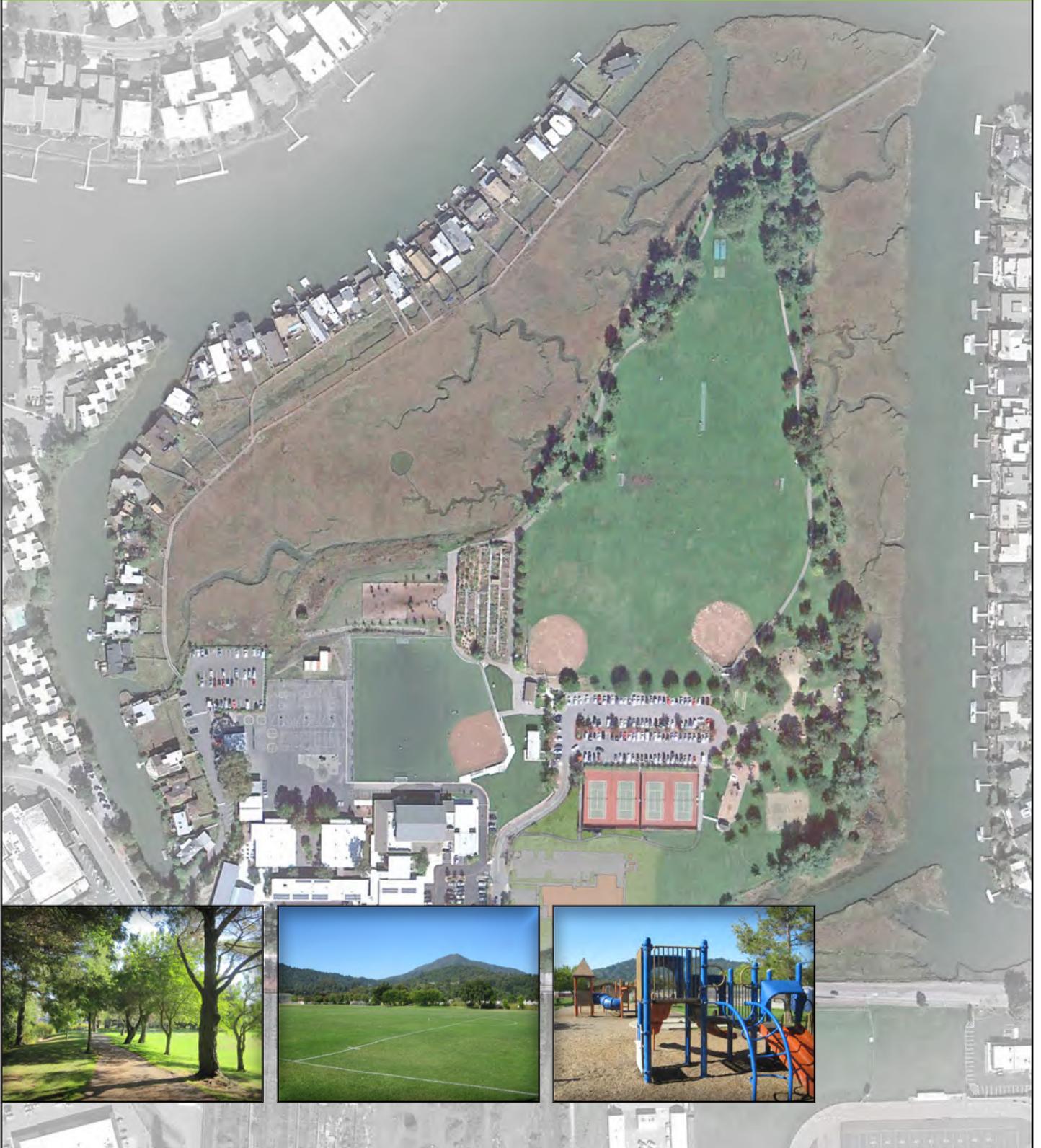


CITY OF LARKSPUR PIPER PARK MASTER PLAN

APRIL 2012



prepared for:

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400 Magnolia Avenue
Larkspur CA 94939*

*Approved by Larkspur City Council
April 18, 2012*

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Piper Park

Master Plan Process

PURPOSE OF THE MASTER PLAN

Piper Park is the largest, most diverse and heavily used park in Larkspur. It is used by local Larkspur residents and also the greater Marin community. The park provides diverse activities ranging from passive recreation and bird watching to active sports play. Over the years Piper Park has struggled with balancing its increasing popularity with its site limitations. With a growing community and outdoor activities and environmental stewardship on the rise, it is important to build a blueprint and guide for future park improvements and uses.

The Piper Park Master Plan is a general guide and living document that serves as a long-range vision and blueprint for future park updates and programming. It provides a cohesive framework that will guide decision making when making physical changes to the park and in managing its landscape and structures. The plan is conceptual in nature and is not intended to address detailed issues related to engineered site design or park operations.

The previous Master Plan for Piper Park was completed in 1997, as shown on the following page. The majority of all the recommendations from that plan were implemented except for the restroom near the western side of the soccer field, the additional tennis court to the south, the tennis pro shop at the south east corner of the tennis courts and the bocce courts shown north of the picnic area. At the time of the 1997 Master Plan, the artificial turf fields, north of Hall Middle School, had not been built.

MASTER PLAN PROCESS

Throughout the Fall of 2010 and Spring of 2011, site data and user information was gathered through the following methods:

1. Site Analysis & Existing Information
2. Intercept Surveys & Interviews Conducted at Piper Park
3. Focus Group Meetings
4. Park Commissions Meetings
5. City of Larkspur Parks & Recreation Staff
6. City or Larkspur Public Works Staff
7. Royston Hanamoto Alley & Abey Analysis



Master Plan Process



FIG 1.1 1997 Piper Park Master Plan



Piper Park

Introduction

CITY OF LARKSPUR ORGANIZATION

The City of Larkspur is committed to providing the best possible service to the community, preserving the City's unique historic character and maintaining its total environmental balance.

City of Larkspur

The City of Larkspur was laid out in 1887 by Charles W. Wright and incorporated in 1908. It is located in Marin County, south of San Rafael and north of Corte Madera, and has an approximate land area of 3.27 square miles (USGS). Mount Tamalpais, towering at 2,574 feet, borders its western side.

Larkspur City Council

The City of Larkspur operates under the Council / Manager form of government. The Council, as the legislative body, represents the entire community and is empowered by the general laws of the State of California to formulate City-wide policy. The Council meets regularly at the City Council Chambers in Larkspur City Hall, 400 Magnolia Avenue.

Current Council Members (2011)

- Len Rifkind - Mayor (term expires 2013)
- Dan Hilmer - Vice Mayor (2013)
- Brad Marsh - Councilmember (2013)
- Ann Morrison - Councilmember (2015)
- Larry Chu (2015)

Larkspur Parks & Recreation Commission

The Larkspur Parks & Recreation Commission formulates plans for development of park and recreation areas, facilities and activities. They also make recommendations to the City Council on activities within their jurisdiction, and supervise and coordinate recreational activities. The Commission also processes requests for removal of heritage trees. The Commission meets every third Thursday evening of every month, except August, in the City Council Chambers in Larkspur City Hall, 400 Magnolia Avenue.

Current Commission Members (2011)

- Sandy Blauvelt - Chair (2012)
- Tom McNally - Vice-Chair (2012)
- Jeanne Friedel (2013)
- Jerry Hauser (2014)
- Bob Matteo (2014)

Larkspur Recreation Department

The Larkspur Recreation Department provides quality programs and events to promote self esteem and entertain youth and adult participants. Through parks and opens spaces, they seek to provide a connection with the natural environment. The Recreation Department organizes and administers passive, active, and communal recreation programs throughout the year. They also coordinate and supervise the use of City facilities and parks by groups and individuals.

- Dick Whitley - Recreation Director
- Shannon Clegg - Recreation Supervisor

Larkspur Public Works

Larkspur Public Works is composed of three divisions:

1. Engineering: Develops the city-wide traffic and capital improvements projects; conducts construction administration of all public works projects including: street resurfacing, storm drainage, sidewalk improvement and accessibility and traffic signal operations; and issues encroachment permits.

Introduction

2. Street Maintenance: Maintains the City's rights-of-way and public thoroughfares, including roadway construction/rehabilitation, street sweeping, street lighting, storm drainage systems, flood control and signal systems; maintains all city-owned equipment and vehicles.
3. Parks Maintenance: Maintains the City's parks in coordination with the Recreation Department.

- Hamid R. Shamsapour - Director of Public Works, City Engineer
- Mike Meyers - Parks Superintendent

DEMOGRAPHICS

According to Larkspur's 1990 General Plan, the City is primarily residential with only 7% land area dedicated to commercial and industrial uses. Its central location and proximity to many outdoor resources creates a community that is environmental stewards and active outdoor users.

According to the 2010 Census, Larkspur has a population of approximately 11,926, including 5,908 households, with a density of 3,647 people per square mile. The median household income is \$66,710 and the median income for a family is \$104,028. The population demographic (2010 Census) is as follows:

- 82.1% (9,791) White
 - 7.7% (918) Hispanic or Latino
 - 4.7% (562) Asian,
 - 3.2% (376) Two or More Races
 - 1.5% (174) Black or African American
 - 0.6% (76) Other race
 - 0.1% (16) American Indian and Alaskan Native
 - 0.1% (13) Native Hawaiian and Other Pacific Islander
-
- Median Age: 48.5 years
 - Under 20 years: 2,315 (19.4%)
 - 20 to 29 years: 772 (6.5%)
 - 30 to 54 years: 4,272 (35.8%)
 - 55 years and over: 4,564 (38.3%)

These figures identify Larkspur as mature and predominantly white community. The diversity in age groups suggests that Piper Park continue to be programmed as a facility that is attractive to all ages.

GENERAL PLAN AS RELATED TO PIPER PARK

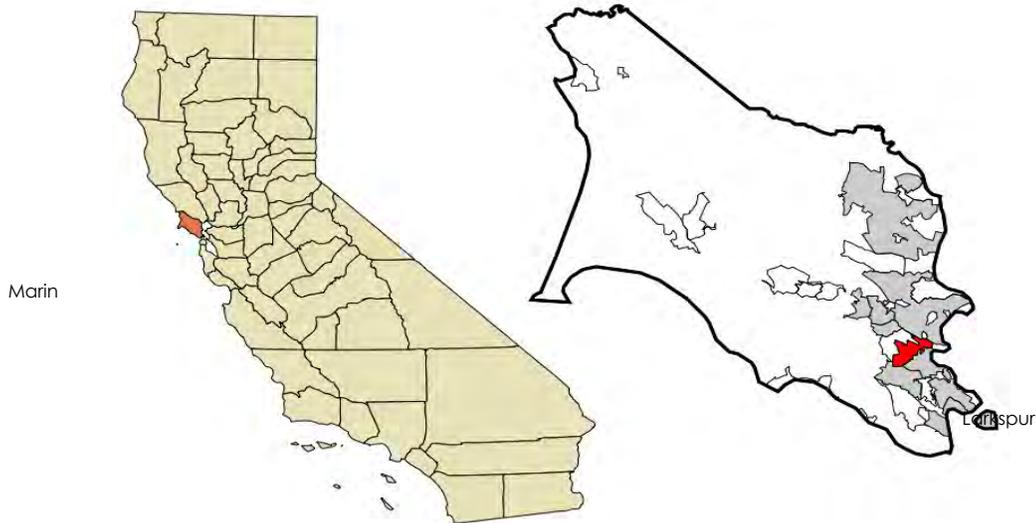
Chapter 5 of the 1990 General Plan states that Piper Park is to be maintained as a recreation area with a balance of organized play facilities and natural areas. The City is currently updating the 1990 general plan. The new plan will guide the preservation and development of the City of Larkspur from 2010 to 2030.

1990 General Plan - Chapter 5 excerpts:

- Provide park facilities and recreation programs for all age groups.
- Continue to maintain Piper Park as a recreation area with a balance of organized play facilities and natural areas.
- Seek to meet the park and recreation needs of children of all ages, from toddlers to teenagers, in a variety of locations.
- The City encourages programs and recreation facilities for seniors.

Introduction

LARKSPUR: LOCATION MAP



This map shows the incorporated and unincorporated areas in Marin County, California, highlighting Larkspur in red.

CITY PARKS

Larkspur has a total of 51.3 acres of public parks which equates to a ratio of 4.3 acres per thousand residents (2010 Census). The Larkspur Parks & Recreation Department provides park facilities and recreation programs for all age groups. They organize many classes and events for the community such as softball, swimming, basketball, fitness walking, aerobics, taekwondo, tennis, photo walks, CPR training, and yoga.

A total of 13 parks and 3 pathways, varying in size, are located in Larkspur.

Parks

- Bon Air Landing
- Magnolia/Centennial Park
- Doherty Park (no amenities)
- Dolliver Park
- Greenbrae School Park
- Hamilton Park
- Heatherwood Park
- Hillview Park (no amenities)
- Miwok Park*
- Neighborhood Park
- Niven Park
- Piper Park
- Remillard Park

Pathways

- South Eliseo/Remillard Path
- Community Field Path
- William Avenue Path

- Park Chart -

Bon Air Landing	Centennial	Dolliver	Greenbrae School	Hamilton	Heatherwood	Neighborhood	Niven	Piper	Remillard	
		⊙							⊙ ⊙	Restrooms
⊙ ⊙	⊙				⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	Picnic tables
					⊙			⊙	⊙	Barbecue pits
							⊙	⊙	⊙	Bicycling
								⊙	⊙	Softball fields
								⊙	⊙	Soccer field
								⊙	⊙	Sand volleyball
	⊙							⊙	⊙	Tennis courts
			⊙	⊙				⊙	⊙	Basketball court
								⊙	⊙	Horseshoe pits
⊙								⊙	⊙	Fishing dock
		⊙ ⊙		⊙	⊙	⊙	⊙	⊙	⊙	Play structure
⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	Benches
⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	⊙	Drinking fountain
⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	Greenbelt
	⊙							⊙ ⊙	⊙ ⊙	Parking
	⊙							⊙	⊙	Bleachers
			⊙ ⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	⊙ ⊙	Walking path
								⊙	⊙	Par course
⊙								⊙ ⊙	⊙ ⊙	Fishing
								⊙	⊙	Football field

Fig 1.2 Current Park Amenity Chart

*Miwok Park was not open to the public at the time of publication.

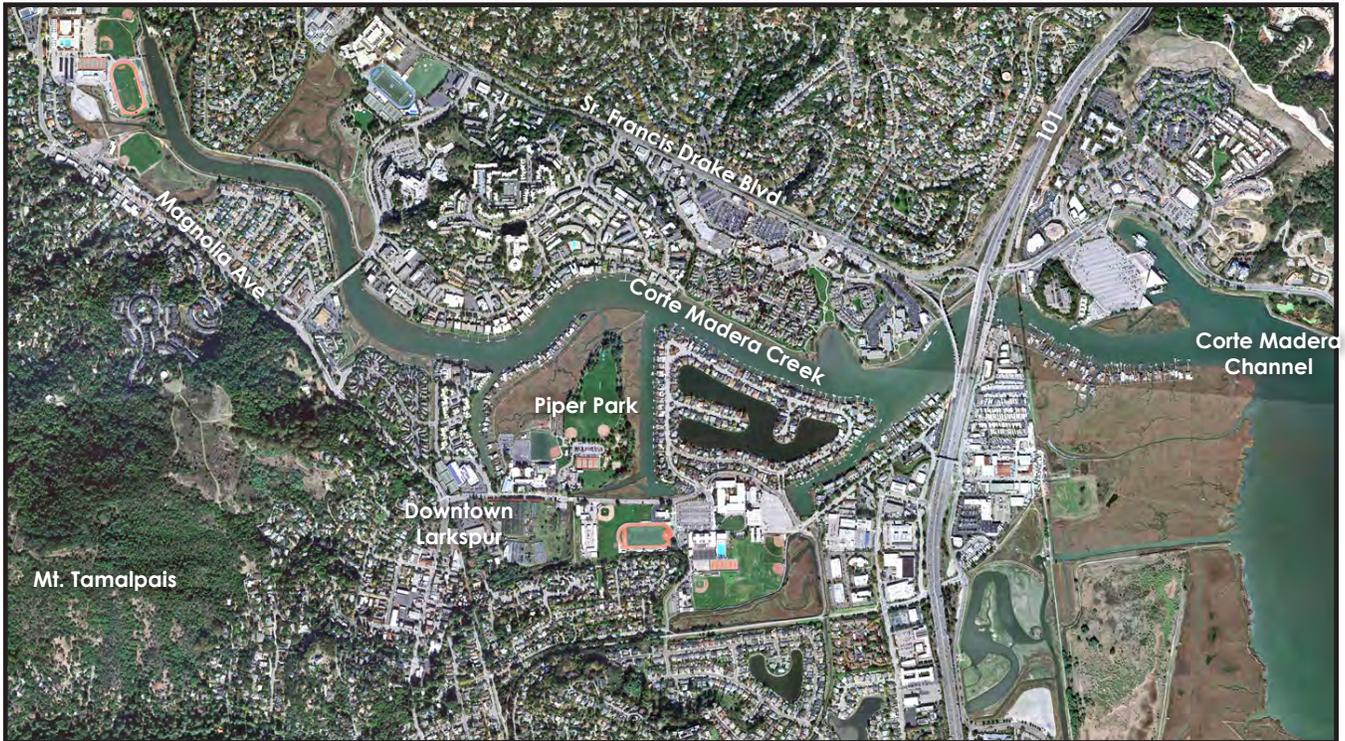


Piper Park

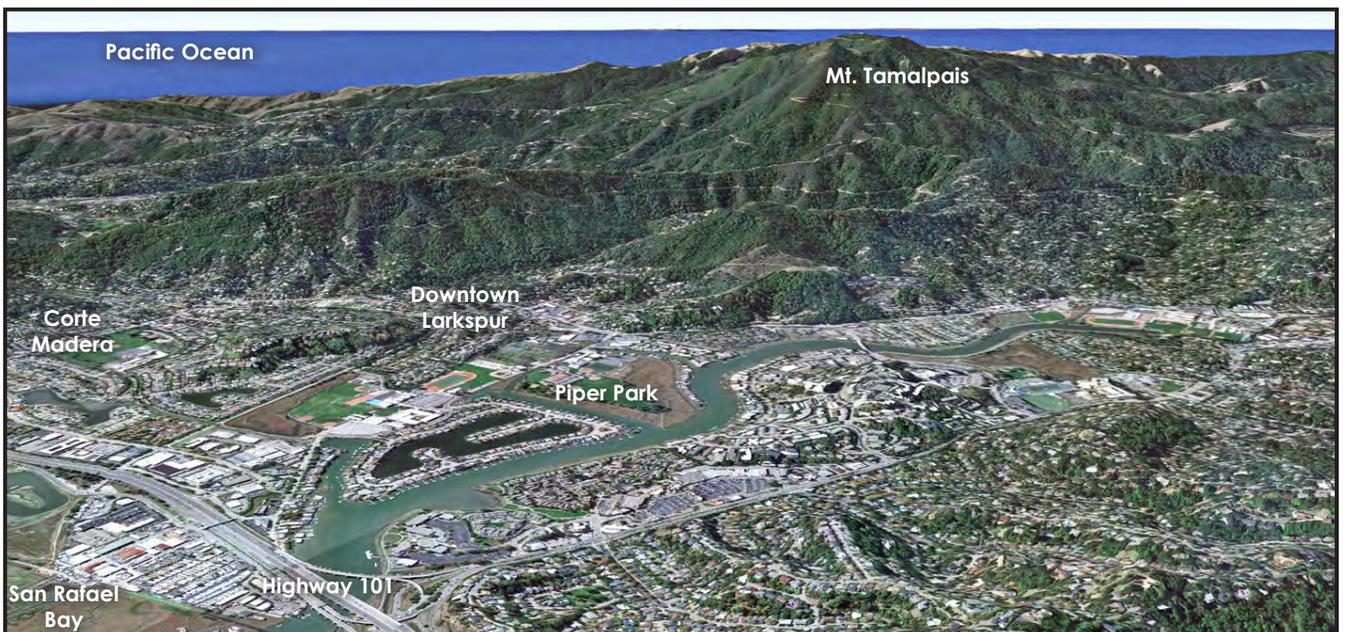
Existing Conditions

PIPER PARK

Piper Park is a 22 acre neighborhood park that also supports the greater Marin community. It is located at 250 Doherty Drive east of Hall Middle School. The park is centrally located in the lowlands, with downtown Larkspur to the southwest, Highway 101 to the east and Magnolia Avenue to the west. The park is surrounded by water and protected wetlands on three sides with Corte Madera Creek located to the North.



Regional Aerial Photograph



Regional Perspective Photograph - Looking to the Southwest

Existing Conditions

HISTORY OF PIPER PARK

Piper Park, originally purchased by the City in the 1940's, wasn't developed as a park until the 1960's when the first baseball diamond was constructed. An original master plan was created in the 1970's and several phases of construction were undertaken to complete the park over a period of time. Funding for the park came from local development fees, federal, state and county grants as well as from local contributions.

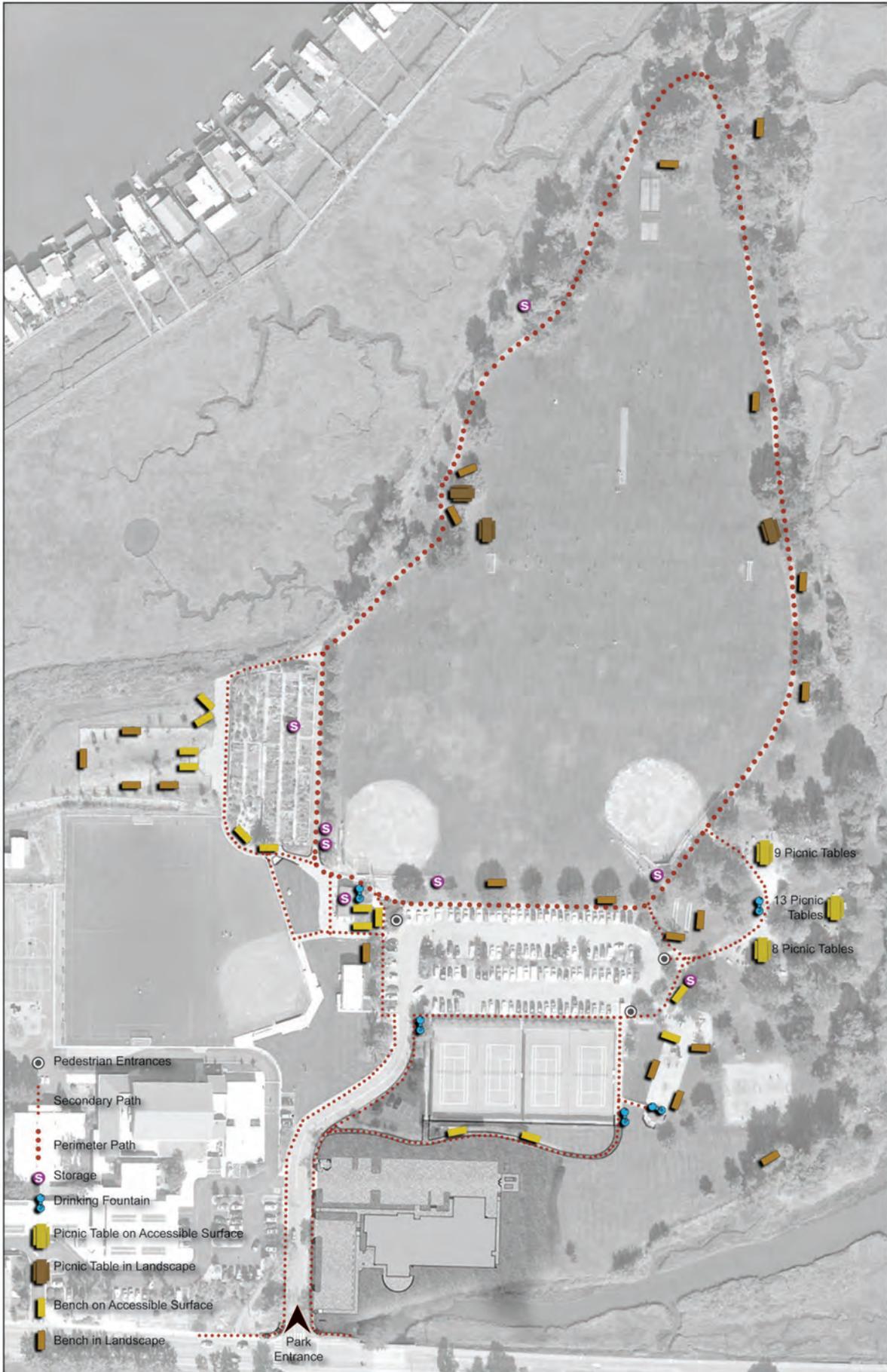
See Appendix G for more details of Piper Park's history.

SITE ANALYSIS & EXISTING CONDITIONS

During the fall of 2010 and spring of 2011, RHAA undertook many hours of field investigations to better understand the park's use, identify issues and conflicts, determine the physical conditions of the park's infrastructure, and to evaluate its integrity. Piper Park currently contains the following site amenities listed below. Many of the field sports have overlapping fields of play.

- (1) Soccer Field on Natural Grass
- (1) Soccer Field on Artificial Turf
- (2) Softball Fields on Natural Grass
- (1) Softball Field on Artificial Turf
- (1) Cricket Field on Natural Grass
- (1) Cricket Cage
- (1) Rugby Field on Natural Grass
- (1) Lacrosse Field on Natural Grass
- (4) Tennis Courts
- (2) Sand Volleyball Courts
- (2) Horse Shoe Pits
- Enclosed Dog Park
- Enclosed Community Gardens with orchard and shed structure
- Demonstration Garden
- Playground with three (3) play structures & swings
- Barbeque & Picnic Area with (28) picnic tables and (11) barbeque grills
- Walking Paths with pathside benches
- (2) Restroom Buildings
- Drinking Fountains
- Parking Lot

Refer to the following site map 'Existing Site Amenities' for locations of the aforementioned amenities. Also, refer to 'Aerial Image with Site Photo Locations' site map identifying the locations from which photos of existing site conditions were taken. These numbers directly correlate to the existing conditions site photos on the pages following.



LARKSPUR PIPER PARK

EXISTING SITE AMENITIES





LARKSPUR PIPER PARK

AERIAL IMAGE WITH SITE PHOTO LOCATIONS

Existing Conditions



1 - Soccer Field on Natural Grass



2 - Soccer Field on Artificial Turf at Hall Middle School

Existing Conditions



3 - Softball Field on Natural Grass



4 - Softball Field on Artificial Turf at Hall Middle School

Existing Conditions



5 - Mixed Use Field Play - Cricket, Rugby, Lacrosse



6 - Cricket Cage

Existing Conditions



7 - Tennis Courts

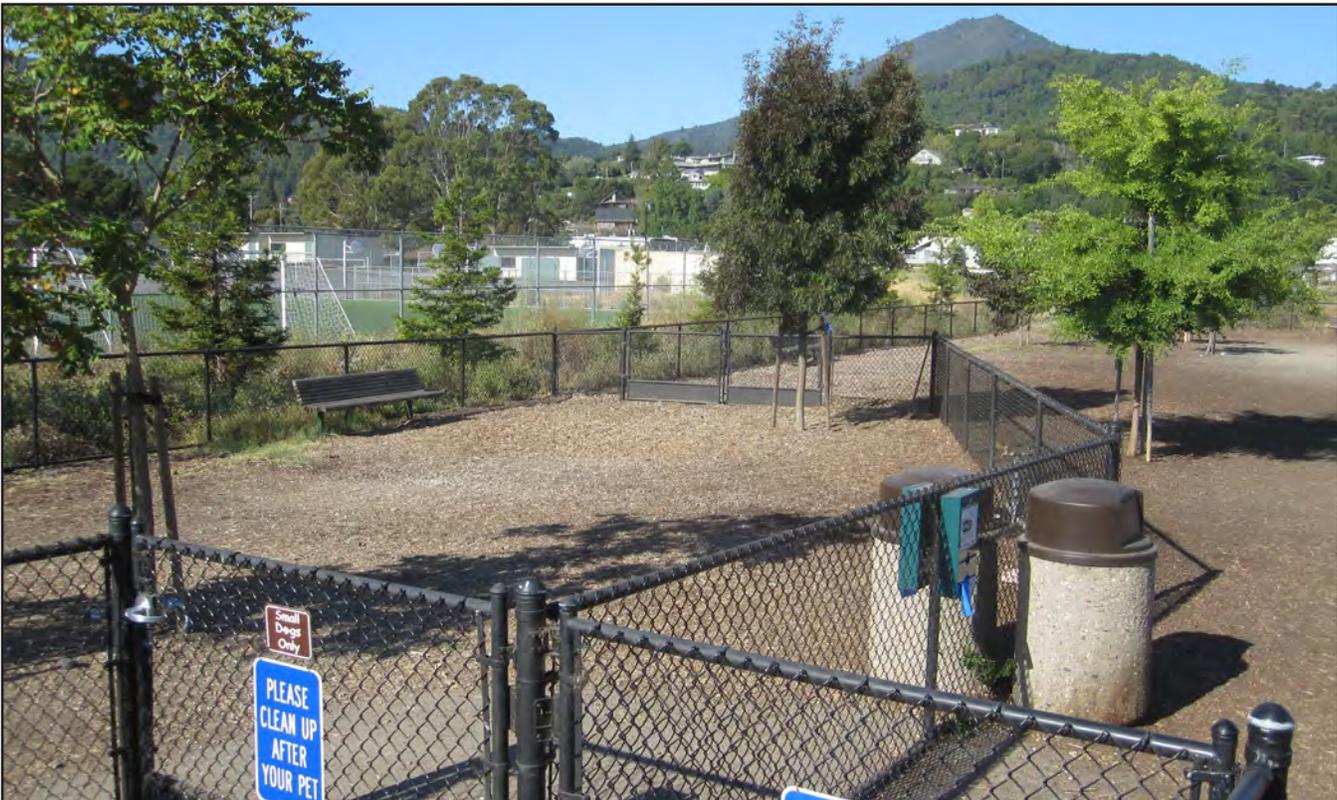


8 - Sand Volleyball Courts

Existing Conditions



9 - Horseshoe Pits



10 - Dog Park

Existing Conditions



11 - Community Gardens



12 - Demonstration Garden

Existing Conditions



13 - Playground



14 - BBQ/Picnic Area

Existing Conditions



15 - Restroom near Playground



16 - Restroom near Community Gardens

Existing Conditions



17 - Storage Shed near Playground



18 - Storage Sheds near Community Gardens

Existing Conditions



19 - Recycling Station



20 - Drinking Fountain

Existing Conditions



21 - Parking Lot



22 - Police Center

Existing Conditions



23 - Entrance Intersection at Doherty Drive



24 - Entry Drive

Existing Conditions



25 - Perimeter Path at West Side of Park between Softball & Community Gardens



26 - Perimeter Path at Northeast Side of Park

Existing Conditions



27 - Perimeter Path at East Side of Park



28 - Perimeter Path at North End of Park

Existing Conditions



29 - Edge Condition at South End of Park



30 - Corte Madera Creek from Dock

Existing Conditions



31 - Perimeter Path at West Side of Park



32 - Larkspur Recreation & Hall Middle School

Existing Conditions



33 - Community Gardens Shed



34 - Cricket Pitch

Existing Conditions



35 - Public Works Building



36 - Pedestrian Entrance

Existing Conditions



37 - Pedestrian Entrance



38 - Tree Grove & Seating Area

Existing Conditions



39 - Pathway



40 - Cricket Storage

PARK COMMISSIONS MEETINGS

Public Park Commission meetings were held to discuss the progress of the Master Plan and to receive public feedback in an open forum. In addition, emails and letters from park users were received and recorded at these times. Meetings were held on the following dates:

1. 09/16/10
2. 11/18/10
3. 01/20/11
4. 02/17/11
5. 04/21/11 - Parks Commission Approves Draft Master Plan
6. 09/07/11- Joint City Council and Parks Commission Meeting
7. 09/15/11

USER INTERCEPT SURVEYS

Park user intercept surveys were conducted to assess park visitation and user preferences. Surveys occurred at different times during the day and the park was visited on both week and weekend days. A total of 57 surveys were completed. A sample survey can be found with a listing of the results on the following pages. Surveys were conducted on the following dates:

1. 09/24/10 - 8 Responses
2. 09/26/10 - 6 Responses
3. 09/29/10 - 5 Responses
4. 09/30/10 - 2 Responses
5. 10/08/10 - 8 Responses
6. Mailed - 28 Responses

FOCUS GROUP MEETINGS & INTERVIEWS

In addition to the Park Commission meetings and user intercept surveys, focus group meetings and phone interviews were also conducted on the following dates:

1. 11/08/10 - Sports Group User Meeting
2. 12/06/10 - Cricket Club Meeting
3. 12/09/10 - Rugby Club Phone Meeting
4. 02/09/11 - Community Gardens Phone Meeting

QUALITATIVE DATA

Collection of data for this report is provided as qualitative data.

Quantitative data, as provided through a typical telephone survey for example, involves the analysis of numerical data as collected through a prepared questionnaire. A measurable response can be established. Surveys conducted by this method are considered statistically valid.

Qualitative data, within the context of this Master Plan, is information collected through various methods consisting of intercept surveys, interviews, focus group meetings, and commission meetings. These methods, conducted by interviewers, were generally subjective in nature. Unlike quantitative methods, qualitative research allows participants the opportunity to respond in detail to the issues at hand.

The City of Larkspur chose to use intercept surveys conducted at Piper Park instead of a telephone survey due to the fact that the park is considered a regional park and is not exclusively used by residents. Using the intercept method, park users were given the chance to provide direct feedback to the City. The following pages provide a summary of results of these intercept surveys.

USER INTERCEPT SURVEY EXAMPLE



City of Larkspur Piper Park Master Plan Update

Date: _____

Name: _____

1. Approximately how many times a month do you visit the park?

- 00 - 05
- 05 - 10
- 10 - 20
- 20 - 30

2. When do you usually visit?

- Weekdays
- Weekends
- Both

3. What time of day do you usually visit?

- Mornings
- Afternoons
- Early Evenings

4. What park amenities do you use?

- | | |
|--|--|
| <input type="checkbox"/> Soccer Fields | <input type="checkbox"/> Horseshoe Pits |
| <input type="checkbox"/> Softball Fields | <input type="checkbox"/> Dog Park |
| <input type="checkbox"/> Cricket Field | <input type="checkbox"/> Community Gardens |
| <input type="checkbox"/> Rugby Field | <input type="checkbox"/> Playgrounds |
| <input type="checkbox"/> Lacrosse Field | <input type="checkbox"/> BBQ Picnic Area |
| <input type="checkbox"/> Tennis Courts | <input type="checkbox"/> Walking Paths |
| <input type="checkbox"/> Sand Volleyball Court | <input type="checkbox"/> Other _____ |

What about these amenities needs to be improved & why?

5. What new amenities would you like to see in the park?

6. What do you like most about the park?

7. What do you like least about the park

(see back for additional comments)

Please return to Larkspur Recreation Department 240 Doherty Drive at Hall School

Public Outreach

USER INTERCEPT SURVEY RESULTS

Below are the results of the user intercept surveys to date. The numbers in front of each comment represents the number of responses received.

Approximately how many times a month do you visit the park?

- (18) 10 to 20
- (13) 0 to 5
- (8) 5 to 10
- (8) 20 to 30

When do you usually visit the park?

- (29) Both
- (17) Weekdays
- (5) Weekends

What time of day do you usually visit?

- (28) Morning
- (24) Afternoon
- (18) Early Afternoon

What park amenities do you use?

- (34) Walking paths
- (12) Playgrounds
- (12) BBQ picnic area
- (11) Dog park
- (10) Soccer fields
- (8) Community gardens
- (8) Tennis courts
- (4) Sand volleyball courts
- (2) Cricket fields
- (2) Lacrosse fields
- (1) Rugby fields
- (0) Horseshoe pits

Other:

- (4) Biking
- (4) Dock
- (3) Parking lot
- (3) Restroom facilities
- (2) Wildlife viewing
- (2) Model planes
- (1) Open grass area
- (1) Drinking fountain
- (1) Synthetic turf field
- (1) Climb trees
- (1) Watch sports
- (1) Golf frisbee practice

Public Outreach

What amenities need to be improved or added?

Sports

- (8) Grading and drainage issues
- (8) Field lighting for artificial sports field
- (3) No field lighting for artificial sports field (Arkites Association, 37 homes)
- (5) More sports fields with artificial turf/all weather surface
- (4) Better marked field lines
- (2) Lights on the tennis courts
- (2) Softball batting cage
- (1) Re-design field layout to maximize play
- (1) Snack bar for tournaments
- (1) Changing room
- (1) Restroom at north end of park
- (1) Removable outfield fence for softball
- (1) Storage space
- (1) A soccer ball wall
- (1) Larger and covered softball dugouts
- (1) Nets around the sand volleyball court
- (1) Better maintenance of existing synthetic turf
- (1) Raise money to fund maintenance of the turf fields.

Playground

- (4) Shade structure
- (4) Water feature
- (3) Sand play
- (2) Rubberized matting
- (2) More tot swings
- (2) Fenced in
- (3) More creative play equipment, update play equipment
- (1) Combination of rubberized matting and wood chips
- (1) Larger restroom
- (1) Play structure for older kids
- (1) Separate tot area from school age play area
- (1) Playground should be updated, concern over the safety of the climber
- (1) Spica play feature in the playground (by Kompan)

Dog park

- (5) More shade / shade structure
- (5) Dirty surface with drainage problems, replace with turf
- (3) More benches & picnic tables
- (2) A separate, non-fenced, off-leash dog area
- (1) Surface needs to be better maintained
- (1) Entrance needs to be re-designed
- (1) Expand dog park
- (1) An additional dog training or dog run area, single user space
- (1) A path around the dog park
- (1) Take advantage of the space surrounding the dog park

Community Gardens

- (4) Security improvements
- (1) Restroom improvements
- (1) Expand community gardens

Public Outreach

- (1) Self-closing front gate with keypad to community garden
- (1) City should provide more mulch for public garden
- (1) Use the garden as a teaching tool for the school
- (1) There should be elected citizens that run the community garden; the rules are too strict

Site Improvements

- (4) More benches
- (4) More trees
- (3) Signage, inside and outside of park
- (2) Repair cracks in walks and parking lot
- (2) Repair and re-design dock to facilitate easier boat launch
- (2) Concrete pads under benches
- (2) Improve shoreline planting and marsh. Enhance habitat and estuary ecosystem
- (1) More walking paths
- (1) Lights along the walking paths
- (1) Improve vehicular entrance
- (1) More drinking fountains
- (1) Additional planting along west side of the community gardens fence
- (1) A natural resource program educating the public about the parks natural environment.

Added Program Elements

- (3) Bocce ball court
- (2) Additional tennis courts
- (2) A public event and gathering area
- (2) A concrete landing strip for model airplanes
- (2) Bike racks
- (2) Interpretive signage about the park marsh
- (1) Frisbee goal for practice
- (1) Shower room
- (1) Basketball court
- (1) Recreation center with lap pool
- (1) Fit course
- (1) Skateboard park
- (1) Arboretum showing the various City approved street trees for local residences

What do you like most about the park

- (12) Diversity of the park users/activities
- (8) Calm, quiet, relaxed and friendly
- (8) Clean and well maintained
- (8) Convenient and centrally located
- (8) Open space
- (7) Walking paths
- (6) Wildlife
- (6) Views and setting
- (5) Community gardens
- (5) Trees
- (3) Park size
- (2) Joint use by the school
- (2) Watching the sports games
- (2) Maintenance Staff response to requests
- (2) Marsh/wetlands
- (2) Lawn/grass

-
- (2) Sand volleyball court
 - (1) Separation/location of park amenities
 - (1) Picnic tables
 - (1) Safety
 - (1) Clean restrooms
 - (1) Tennis courts
 - (1) Dog park
 - (1) Large parking spaces
 - (1) It's not over designed

What do you like least about the park

- (1) Nothing, the park is great as is
- (7) The geese
- (4) Parking on the weekends
- (3) Entrance design and entry traffic during school hours
- (3) Current condition due to the police station construction
- (1) No dogs on turf fields
- (1) No shade in the play area
- (1) Wood chips in the play area
- (1) Drainage of sports fields
- (1) When in use the cricket fields take up most of the park
- (1) Loud music
- (1) Artificial turf field at Hall School
- (1) Increasing development of park

Piper Park

Recreation Trends & Social Media

INTRODUCTION

Recreation is an important part of every community as most people participate in some sort of recreational activity on a regular basis. Recreational trends are an significant planning consideration in order to help determine the most important types of amenities to provide to park users. Though recreational trends vary based on geographical location, weather, and community demographics, common recreational themes stand out.

Several organizations produce reports on recreation trends both from a nationwide perspective and some focus directly on California. These reports identify trends which can be compared to surveys and public input generated directly from Larkspur to help better understand the direction park development should move.

GENERAL

"Traditional recreation remains popular, and as more Californians take advantage of state, local and federal parks, the demand for recreation facilities will only increase. Generally, Californians tend to participate in activities that are less expensive, require less equipment, and need fewer technical skills." (*California Outdoor Recreation Plan 2008*).

Californians are an active group and enjoy spending time outdoors and consider public recreation facilities very important to them and their families (*Public Opinions and Attitudes on Outdoor Recreation in California 2002*). Some of the top activities that are recurring in several surveys, relative to the park amenities/activities at Piper Park, are listed below. With the exception of 'walking' which ranked at the top of all surveys, the remaining activities ranked high in all surveys, but in different order.

- Walking for pleasure and/or fitness
- Attending outdoor cultural events
- Picnicking in developed sites
- Gardening for pleasure
- Wildlife viewing, bird watching, viewing natural scenery
- Using open turf areas (passive activities, unstructured activities and games)
- Biking
- Jogging/running for exercise
- Using play equipment
- Organized team sports
- Walking a pet
- Visiting nature centers

One survey looked at activity participation trends for a five year period between 1999 and 2004. During that time, most activities in which people participated had an increase, especially with visiting nature centers. Although not relevant specifically to Piper Park, it does note that people are very interested in nature and learning and thus providing educational moments within the park through signage or naturalist lead walks, would most likely be well received.

Overall, the activities/amenities listed do have a correlation with the feedback received from the intercept surveys. The top three activities at Piper were walking, playground and barbeque/picnic area. These were followed by dog park, soccer, tennis and community gardens. Though no trends can be determined from this single survey, over time the City can perform regular intercept surveys to help monitor satisfaction and any possible changes in use.

Walking

Based on several different reports and surveys there are several activities that tend to be very popular among all age groups. In surveys directed at all age groups, walking ranked as the most popular and as an extremely important activity. It is the 'single most popular activity in the United States' (*American's*

Recreation Trends & Social Media

Participation in Outdoor Recreation, 2002). The 2008 California Outdoor Recreation Plan and the 2000-2004 National Survey on Recreation and the Environment both ranked walking for pleasure as the most popular activity. Walking is very popular amongst the senior population and youth groups as well. Thus it is no surprise that the intercept survey received the most responses for walking paths as the most used park amenity. It should also be noted here that the local Larkspur Walkers are a very popular group and use the path at Piper Park on a regular basis.

Seniors/Baby Boomers (55 and older)

One survey noted that among baby boomers and seniors, health and fitness ranks as very important, with the majority of one survey group working out at least three days per week (*2006 Del Webb Community Survey*). This survey ranks walking as most important followed by cardiovascular equipment workouts and strength and weight training exercise. Biking and balance training activities such as yoga and Tai Chi, also ranked very high, with biking as an activity that is increasing in popularity. The group surveyed was an affluent retirement community, thus a similar demographic to Larkspur.

California's senior population will double by 2020 and is in line with the growing senior population in Larkspur. This group of aging Californians is "generally healthier and more active than any previous generation of seniors; these elders will continue seeking engaging outdoor recreation experiences" (*California Recreation Plan 2008*). In addition to providing safe walking and biking paths, many communities have installed outdoor exercise equipment as a form of circuit training that can be coupled with walking loops. These have become quite popular amenities for some parks and popular with park users both young and old.

Youth

"Walking on streets/sidewalks/paths/trails in their community; swimming in a pool; jogging or running; and playing in a park, were the outdoor recreation activities with the largest percentage of youth participation" (*California Recreation Plan 2008*). Picnicking is also a popular youth activity as well as bicycling, skateboarding and bird watching. Jogging and running has seen an increase in activity since 2007, while skateboarding has seen a decrease, though is still a popular activity.

TECHNOLOGY AND SOCIAL MEDIA

A majority of Californians said they prefer to receive information about public parks and recreation areas and facilities from (1) friends and family, (2) the Internet, and (3) brochures. Most (83.9%) said their households have Internet access (*Public Opinions and Attitudes on Outdoor Recreation in California 2002*).

With the advent of smart phones and a sharp increase in the use of portable devices such as the iPad technology has probably increased since the 2002 Public Opinions and Attitudes survey, as the preferred way to receive information. With boundless information at the literal touch of a finger, people are much more demanding of immediate, quality information. Youth especially would be a target audience for social media platforms by alerting them to upcoming park games, classes or events and creating spaces for them comment and make plans to meet up.

City Web-site

The city parks department web-site provides a direct link to Piper Park. Currently there is a rough picnic area map link with rental fee and contract links as well as rules and directions. The City is in the process of adding site photos and additional information. A current site map would be beneficial as well. Photos could be hyper-linked with the site map. There could be opportunity for a public comment area within the city park web-site as well.

Texting

There is also opportunity to provide responses to the City for maintenance or safety issues with the park, by asking people to text information to the City such as a broken drinking fountain or pot hole or other

Recreation Trends & Social Media

park issue. Texting would allow people who don't have smart phones an immediate way to provide feedback to the City. This number could be available on signage at the park and on the web-site.

Online Reservations

Most people prefer quick and convenient ways to make reservations or place orders from dining to concert tickets. There is future possibility of creating an online reservation system that people can use to make picnic or field reservations, especially after hours, when trying to plan a last minute picnic or game. An online reservation system similar to Opentable.com would be a great way for the City to potentially generate more income without requiring people to come into City Hall to make payments. It would also allow people to see in advance the availability of amenity rentals.

Yelp.com

Piper Park receives reviews from park users on Yelp. This site provides an opportunity for people to voice both their compliments and complaints regarding the park. Currently, there have only been four comments received since 2008, three were very positive while one had comments regarding the state of the dog park. This site can be a useful resource for the City to collect feedback. The site could be noted on the park web-site to provide public comments.

Facebook.com

Facebook has become the most popular social media web-site and a platform for sharing a wealth of information. The City does have a Facebook page, but there is not one specifically for the park. Piper Park could have its own page, where people could 'friend' the park and be kept informed of upcoming events or other pertinent information. It also could provide opportunities for people to provide feedback and comment. Photos can be posted as well as links to the City web-site.

Twitter.com

Twitter is another social media platform that can send brief messages to subscribers. Local groups such as Marin Women's Soccer League and the Larkspur School District post 'tweets' of such things as field conditions, meeting times and school events. Piper Park could inform subscribers of field closures or event changes for up to the minute updates.

Other web-sites

Piper Park is noted under Justplaygrounds.com which gives a short description of the park- specifically the playground area- as well as noting the other park amenities. There is also an interactive star rating system which currently has 10 votes and a total rating of four (out of five) stars. There is an opportunity for comments, but only one (a positive review) had been logged since 2006.

SUMMARY

As the survey information notes, recreation is a vital and growing component of our society today. It plays an important role in the improvement of people's health and mental well-being, as well as providing many positive elements in the growth and development of children. Parks serve as the canvas for recreation in a community. It is important for the City of Larkspur to keep a finger on the pulse of the park user community through on-going surveys to collect both qualitative and quantitative information, as well as to perform yearly research on other local, regional, state and nationwide recreation surveys for comparison and analysis. It will be important for Larkspur to stay up to date with communication technologies to stay in touch with the community and to help maintain and provide quality amenities and services at Piper Park.



Piper Park

Vision & Guiding Principles

VISION

After listening to public opinion, the Larkspur Parks and Recreation Commission confirmed the General Plan vision to preserve Piper Park as a recreational, natural and cultural resource for the community, while maintaining the diversity of facilities within the park to provide for the needs of all users.

The visions for Piper Park are specific to the park, but are also supportive of the Community Facilities, Services, Goals, Policies and Programs as set forth in the Larkspur General Plan.

GOALS

These goals and guiding principles, as determined by the Parks Department & Commission, City Council, and public feedback, are intended to help provide specific direction in creating future policy and determining actions for Piper Park. The actions listed are explained in greater detail in the following sections of the report.

GOAL 1

“Continue to maintain Piper Park as a recreation area with a balance of organized play facilities and natural areas” (Goal 1, Policy b of General Plan)

PRINCIPLES

1. Preserve the balance of passive and active spaces. See Figure ‘ Piper Park Master Plan- Active & Passive Spaces’ for definition of current active and passive areas.
2. Future changes or improvements to active areas should occur within the existing active use boundaries.
3. Maximize active use areas by encouraging multiple uses within existing area.
4. Conserve existing passive spaces without formal programmed activities.

GOAL 2

Encourage community gatherings and special events within the park.

PRINCIPLES

1. Develop infrastructure to support local events.
2. Using social media, create an expanded information delivery system to the public to advertise park events.

GOAL 3

Actively manage the park for sustainability.

PRINCIPLES

1. Encourage alternative forms of transportation to and from the park.
2. Promote the use of sustainable construction materials and building techniques in the park whenever possible.
3. Continue to use an integrated pest management (IPM) approach that does not use pesticides and herbicides.
4. Encourage recycling.
5. Educate park users on the importance and benefits of sustainability.
6. Follow best management practices (BMPs) for stormwater.
7. Cultivate and maintain a healthy native plant population in Piper Park.
8. Reduce water consumption for irrigation.



Vision & Guiding Principles

GOAL 4

Protect the marsh as a resource.

PRINCIPLES

1. Minimize the impacts of park activities on the surrounding marsh.
2. Manage the marsh edge as an environmental asset.

GOAL 5

Interpret the natural and cultural resources of the park.

PRINCIPLES

1. Educate and inform park users about the special qualities of Piper Park, both cultural and environmental.

GOAL 6

Provide play activities for children with a range of physical and mental abilities and challenges.

PRINCIPLES

1. Provide 'tot lots' with safe and imaginative play equipment where space is available in City Parks". (Goal 1 - Action Program 3 - General Plan)
2. Provide new and/or improved play facilities.

GOAL 7

Continue to enhance, develop and maintain park facilities for safety and to meet the needs of park users.

PRINCIPLES

1. Look for opportunities to engage park users in park improvements and maintenance.
2. Continue to repair and replace damaged park amenities and facilities.

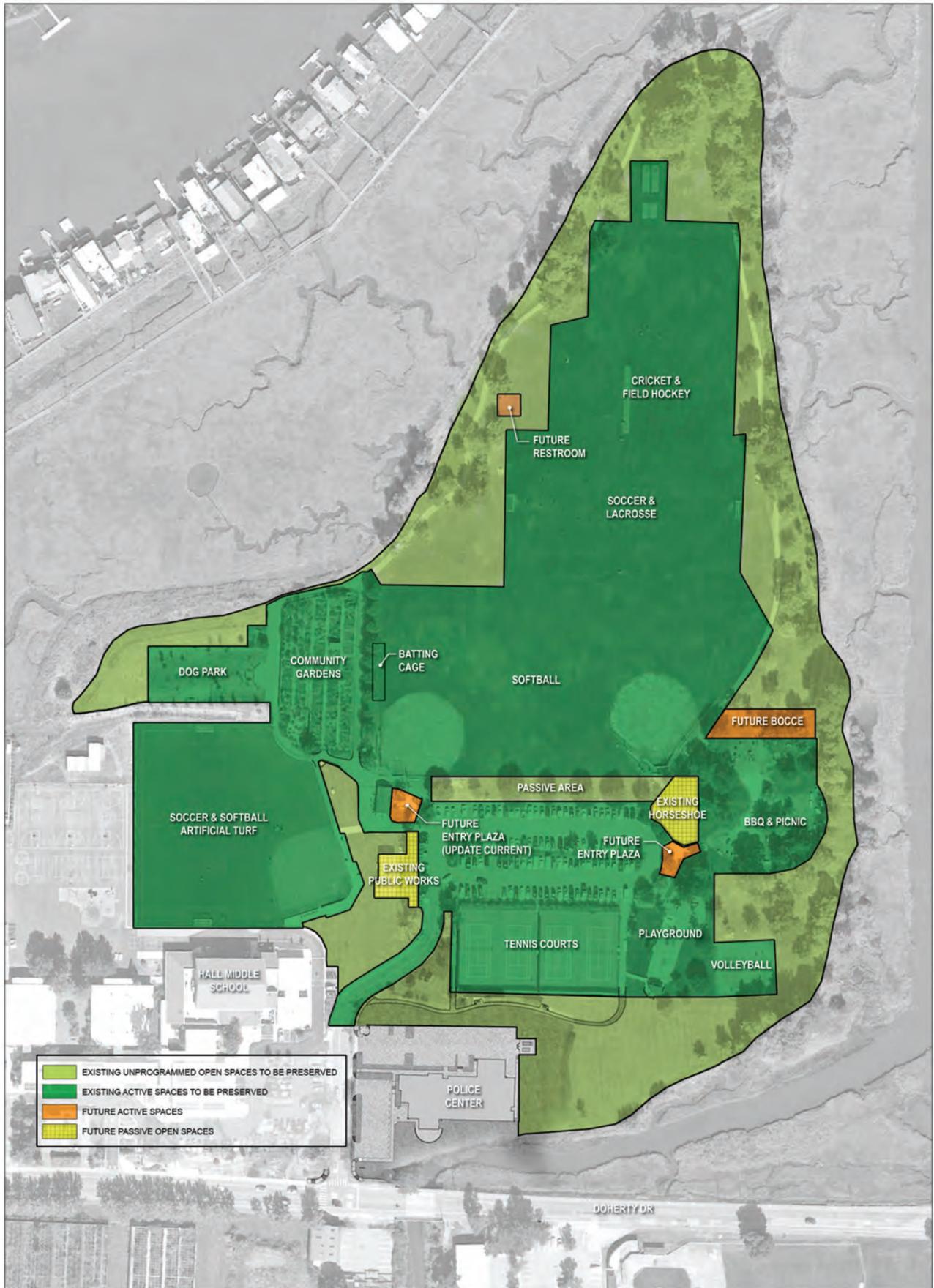
GOAL 8

Meet all current standards for accessibility as defined by the American's with Disabilities Act (ADA) and the California Building Code Title 24.

PRINCIPLES

1. Adapt existing park facilities and amenities and build new park amenities and facilities in compliance with all current standards for accessibility as defined by the American's with Disabilities Act (ADA) and the California Building Code Title 24.





Piper Park Recommendations

IRRIGATION IMPROVEMENTS - #1



Existing Irrigation Controllers



Existing Irrigation Controllers

Existing Conditions

The existing Irritrol irrigation controllers are operated manually and by programmed times. They are not ET (evapotranspiration) based and do not have the compatibility to be integrated into a central control system. The current irrigation system and irrigation design at Piper Park does not meet current MMWD requirements.

State Water Ordinance

The Water Conservation Landscaping Act of 2006 (Assembly Bill 1881) required local agencies to adopt a new model water ordinance by January 1, 2010. Any local ordinance must meet or exceed the Department of Water Resources State Model Water Ordinance. Section 2 of Article X of the California Constitution specifies that the right to use water is limited to the amount reasonably required for the beneficial use to be served, and the right does not and shall not extend to waste or unreasonable method of use. The State Model Water Ordinance protects local water supplies through the implementation of a whole systems approach to design, construction, installation and maintenance of the landscape. This results in water conserving appropriate landscapes, improved water quality and minimization of natural resource inputs.

Marin County Water Ordinance

The Marin Municipal Water District (MMWD) has adopted Model Water Ordinance No. 421 that amends Title 13 of the MMWD code. Ordinance No. 421 applies to new construction and rehabilitated landscapes; public or private. The ordinance exceeds the State Model Water Ordinance and focuses on local conditions. The updated ordinance as well as a User's Guide can be downloaded from the MMWD web site. Ordinance No. 421 focuses on the following water reduction strategies:

- Non-mechanically compact soil
- Compost and mulch
- Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU)
- Hydrozoning
- Plant types, water usage, locations, and turf placement
- Fire-safe landscapes
- Rainwater and graywater, recirculating and recycled water
- Stormwater management
- High flow sensor, isolation valves, rain sensor, pressure regulation, swing joints, check valves
- Matched precipitation rates (MPR), head to head coverage, dedicated irrigation meter
- High efficiency irrigation controller
- Over-spray and runoff, blocked spray, spray setbacks
- Grading and slopes

Recommendations

Water Rebate Programs

In the Past MMWD has sponsored rebates that promote the reduction of water use. At the time of this report, MMWD's rebate programs are suspended. The Board of Directors has stated that they are committed to reinstating the rebates as soon as the budget allows.

Larkspur Public Works Department

Any funding and improvements made to the existing irrigation system should be coordinated with the Larkspur Public Works Department and the Parks Superintendent.

ET Data

Evapotranspiration (ET) data takes into account changing weather conditions including solar radiation, relative humidity, wind, temperature and effective rainfall. These calculations are used to direct the controller when to water and how much. These setting can be manually overridden for site specific conditions. Water savings will ultimately be based on effective system management. An ET based system can reduce water usage by up to 30% depending on the site's current water use.

Central Control Irrigation System

A central control system allows the user to control the irrigation system from a central location eliminating the need to perform certain adjustments on site. Daily evapotranspiration rates are downloaded from a local weather station and used to automatically program watering schedules. In addition specific zone information, such as plant and soil type, is programmed into the coefficients. Central control systems also provide alert notifications, automatic irrigation scheduling, flow sensing, water budget calculations, and flow reports.

Central control systems come in many types but to simplify the range, they are either internet web-based systems or program-based systems. The web-based systems are simpler to use, cheaper, and are for small to medium applications. In a web-based system, the user accesses the system through an internet browser, and no programs are installed on the computer. These systems come with various monthly fees associated with ET data downloading and internet usage. Program-based systems are more complex and have many more options. They require software to be installed on a local computer.

The two largest monthly operational expenses for Piper Park are maintenance and water, both of which are reduced with a central control system. There are a variety of different central control systems, some more complex than others. Because of Larkspur's size, it is recommended that a small central control system be used. Before choosing a system, further study should be done to determine the best fit for the City at the most efficient cost. An evaluation of all the City's irrigation controllers should be done to determine what is compatible. An effective central control system can reduce water saving up to 30% with system pay back within five years, depending on the site's current water use.

A central control system with additional upgrades mentioned in recommendation #1D would help to reduce ponding and drainage issues on the fields.

Recommendations

Option #1A - (ET Upgrade)

The easiest and least expensive solution to upgrade the existing controllers to smart controllers is to install a compatible Irritrol Climate Logic Kit that includes a wireless receiver module, weather sensor, transmitter and a cable adapter. The existing MC-Plus irrigation controller panels would need to be upgraded with an Irritrol MC-E Series. The weather sensor and transmitter would calculate site specific daily evapotranspiration rates and the wireless receiver would input this data to determine controller programming. These settings can be manually overridden. The weather sensor and transmitter would be installed on a structure with adequate clearance. In addition, a remote control transmitter and receiver can be added to allow the maintenance crew to operate the controller with a remote device. This option is not a central control type system.



Option #1B - (ET & Internet Based Central Control) - #1B

The irrigation system could be upgraded to an internet based central control system such as iCentral by Rain Master. The existing controllers would need to be fully replaced with Irritrol Eagle Plus type controllers. The five existing controllers could potentially be reduced to two or three controllers with larger station capacity. Internet-based, 2-way central control systems, require no software to be installed on a computer. Their programs can be accessed through an internet browser, such as Internet Explorer, and can be accessed on any computer. Internet-based central control systems allow for fundamental central control capabilities without the complexity of more comprehensive system. This would allow for irrigation control from any remote computer with internet access. It would also allow specific watering schedules and graphic water use reports to be conducted to target water usage.



Rain Master Eagle Plus Controller

iCentral Internet Based Software

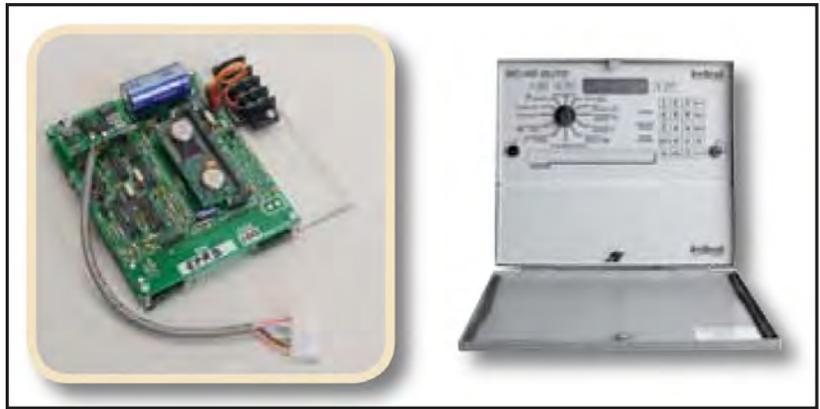
Recommendations

Option #1C - (ET & Program Based Central Control)

The irrigation system could be upgraded to a program-based central control system, such as the Toro Sentinel. The existing MC-Plus irrigation controller panels would need to be upgraded to an Irritrol MC-E Series. In addition, the Toro Retro Link assembly unit would be needed to allow the controller to communicate to the central control system. A central computer with special software would need to be installed. This type of system would allow for maximum control over the irrigation system with precise scheduling and water reduction strategies.



Toro Sentinel Central Control System



Toro Retro Link Assembly Unit with Irritrol MC-E Controller Panel

Recommendation - #1D

In addition to upgrading the controller, additional improvements listed below can be made to reduce water consumption. Many water saving technologies have recently been introduced to the market.

- Dedicated irrigation water meter to provide accurate water use information
- Rain sensor to override the controller
- Soil moisture sensor to override the controller
- High flow sensor to detect line breaks
- MPR (matched precipitation rate) spray nozzles for more efficiency
- Isolation valves to allow for isolating leaks
- Check valves in pop-up spray to prevent low head drainage
- High flow shut-off device in pop-up spray to prevent water waste in the event of head breakage
- Swing joints to protect heads from breaking due to above ground activity
- Pressure regulating control valves to assure optimal pressure
- Pressure regulating device in pop-up spray to assure optimal pressure
- Above or below ground drip irrigation (subsurface)
- Low precipitation rate and high uniformity spray nozzle



Flow Sensor

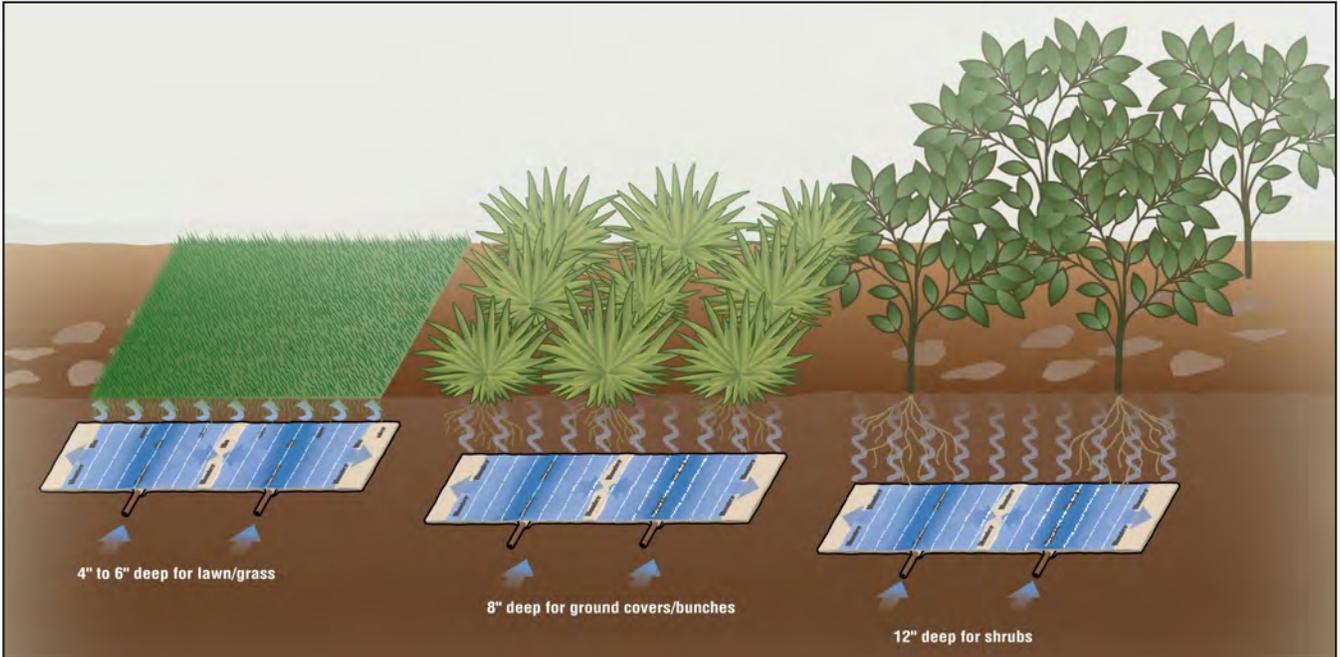


Toro Precision Spray Nozzle

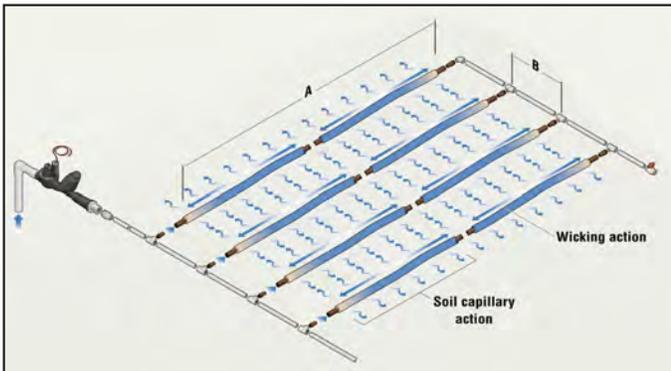


Hunter MPR Rotator

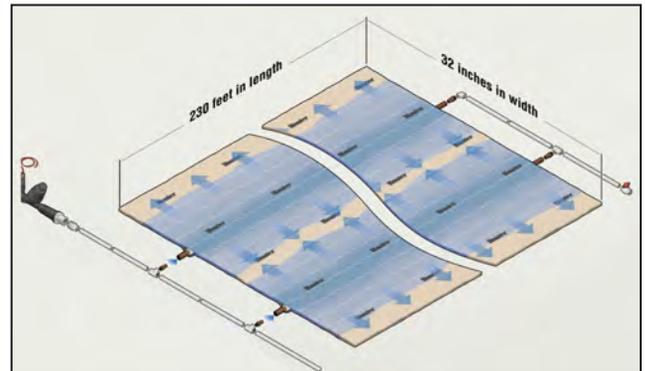
Recommendations



Subsurface Drip Irrigation



Subsurface Drip Irrigation



Subsurface Drip Irrigation

Recommendations

PARK BENCHES & PICNIC TABLES- #2

Existing Conditions

The Larkspur Park and Recreation program has a policy in place allowing citizens to fund and support the purchase and installation of park benches. The park contains over thirty benches: six in the dog park, four in the play area, two at the horse shoe pits, nine along the main path, and others scattered throughout the park. The park also has many picnic tables, with the majority located in the picnic/BBQ area and others located along the main loop path. Many benches and a few picnic tables are not ADA accessible and are located in turf grass, away from the path of travel. During the winter months these areas become muddy and unusable. Through the public outreach process, many people expressed the need for additional benches and picnic tables on a hard surface throughout the park.



Existing Pathside Bench & Picnic Table



Existing Pathside Bench

Recommendation 2A

Additional benches and picnic tables installed at the park should be located in shaded areas and should be ADA accessible. Per the California State Parks Accessibility Guidelines, at least 50% of fixed benches and tables must be accessible and at least 40% of the accessible benches and tables must be located along an accessible route of travel. Benches and tables should be located 12" off any pathway as to not obstruct the path of travel. Benches should have back support along the full length and a minimum of one armrest. All benches and tables should conform to the accessibility requirements of the 2010 California Building Code - California Code of Regulations Title 24. California.

Additional benches and tables should be field located with City Park Staff. See 'Site Work' recommendation #5 for additional accessibility information. See Appendix I for City of Larkspur's tree and bench donation policy.

Recommendation 2B

Locate benches on an accessible pad, constructed of a surface such as stabilized decomposed granite, which must not exceed a slope of 2% in any direction. In keeping with the natural feel of the park, concrete and asphalt are not recommended for bench pad areas. A minimum area of 30" x 48" shall be provided to the side of a bench so that a wheelchair user may be seated shoulder-to-shoulder with an individual seating on the bench. Bench backs should be located a minimum of 1' foot from the back edge of the bench pad area. Picnic tables should also be located on an accessible surface. Pad size should be larger than the table and provide an accessible seating area with a minimum radius of 5', typically located at the end of a table where wheelchair access is provided.

See also Existing Site Amenities Diagram in Existing Conditions Section of this report for additional information and location of existing tables and benches.

Recommendations

PARK TREES & PLANTING - #3

Existing Conditions

Park Maintenance Staff currently replaces, prunes, and removes invasive plant species, as well as doing routine maintenance on plantings. In accordance with the City's Pest Management Policy, all plants are removed in such a way which prioritizes non-chemical or cultural practices over the use of chemical pesticides. Through the public outreach process, many expressed the need for additional shade trees and the removal of non-natives in favor of native species.



Existing Edge Condition along East



Existing Tree Grove along Northeast Edge of Site



Newly Planted Trees along West Side of Park



Existing Tree Trees along East Side of Park

Recommendation

It is recommended that the City continue its efforts to remove invasive and non-native plant species and replace them with native California plants. MMWD has compiled a list of appropriate native plants for Marin County. In addition to removal and replacement, additional planting should occur along the park's boundary next to the wetlands. Additional native planting in these locations will provide for an improved barrier along this sensitive habitat. It will also decrease noise trespass and visual impacts on surrounding residential properties. Because the site is located on fill and near brackish water, trees should be chosen for their hardiness and tolerance to salt. See Appendix I for City of Larkspur's tree and bench donation policy.

Recommendations

ENTRANCE SIGNAGE - #4A

Existing Conditions

Piper Park does not currently have a formal entrance monument or sign. The park entrance is shared with Hall School and the new police facility. With the construction of the police facility, the park has become visually less noticeable from Doherty Drive. The only sign now is a small green directional sign mounted on a light pole. The road appears to be just to the police facility.



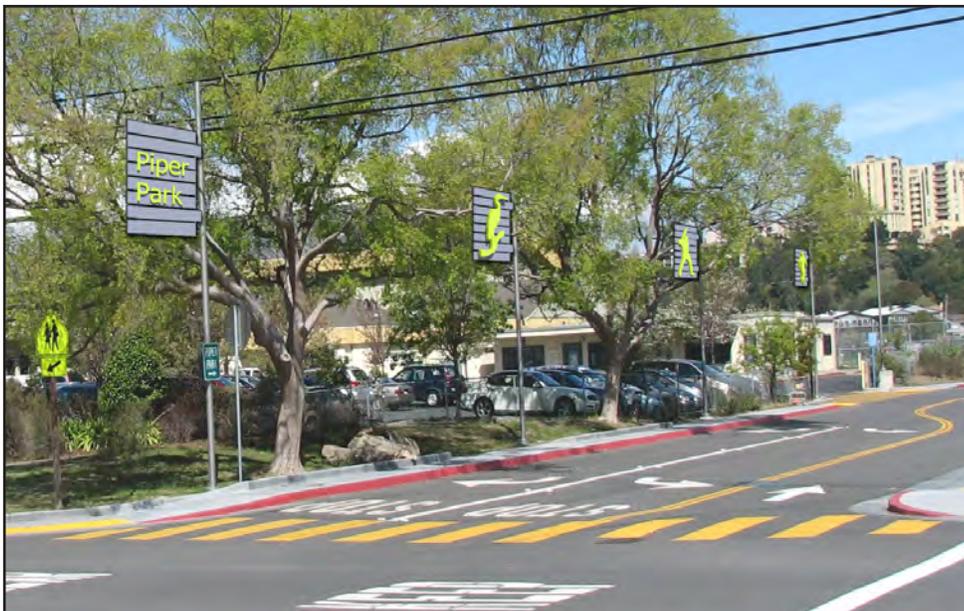
Existing Signage at Left Side of Driveway



Entry Signage for New Police Facility

Recommendations

A new entrance sign is needed that orients new visitors to the park. Through identity and communication, the sign must clearly distinguish that this location is the entrance to Piper Park. The design of the sign should be coordinated with Hall Middle School, as they are planning an electronic marquee on the same corner. Below are three possible ways to demarcate the entrance.



1 - Colorful, Rigid Banners Mounted to Existing Light Poles

Recommendations



2 - Iconic Freestanding Park Sign



3 - Matching Existing Signage

EDUCATIONAL SIGNAGE - #4B

Existing Conditions

In the past, Piper Park had educational and interpretive signage. Over time, these signs were removed. No educational or interpretive signage exists in the park today.

Recommendations

It is recommended that educational and interpretive signage be re-introduced into the park as a tool to educate the public. The content of the signs should focus on the park's unique natural character, environmental awareness and sustainable strategies. Examples of topics include the park's ecological history, storm water and water management, organic gardening, water conserving plants, animal and wetland habitat and sustainable strategies the park is using.



Example of Educational Signage



Example of Educational Signage

Recommendations

FLATWORK REPAIR - #5

Existing Conditions

Asphalt and decomposed granite are the two main surfacing materials used at Piper Park. In some locations, tree roots and unstable subgrade have cracked and heaved the flatwork surface, creating safety and accessibility issues.



Existing Play Area Entrance from Parking Lot



Existing Park Entrance from Parking Lot

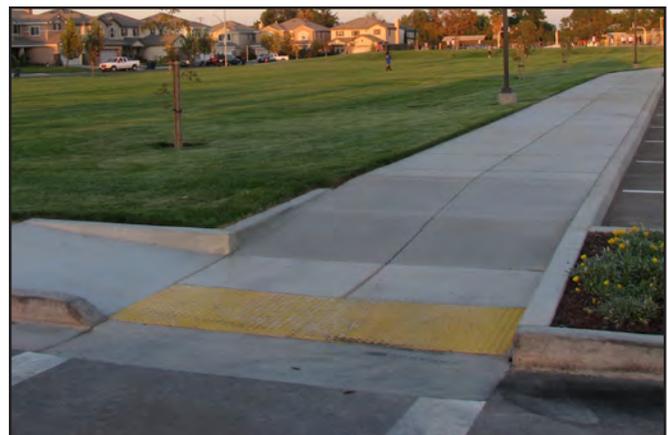
Recommendation

Inconsistent flatwork with grade differentials exceeding 1/4" inch should be repaired or replaced. Root barrier should be installed to prevent tree root heaving and an engineered subgrade with a geogrid fabric should be used to prevent subgrade settlement. The perimeter path will need to be resurfaced within the next five years to assure accessibility. Any accessible path-of-travel slopes should have a longitudinal slope of less than 4.9% with a maximum cross-slope of 2%. Slopes greater than 5% are considered ramps.

All existing curb ramps should be reviewed for compliance. The minimum width of a curb ramp is 48 inches with a maximum slope of 8.33%. Where flared sides are installed to adjoin the curb ramp, the maximum slope of the sides shall be 10%. A level landing 48 inches deep shall be provided at the upper end of each curb ramp along its full width. Ramps shall have a grooved border 12 inches wide at the level surface of the sidewalk along the top and each side of the ramp with grooves spaced 3/4 inches apart and 1/4 inch deep. Curb ramps shall also have a detectable warning in the form of truncated domes with an in-line grid pattern that extends the full 48 inch width and depth of the main ramp. Domes shall be in a color that contrasts with the surrounding surface.



Example of Decomposed Granite Surface Material



Curb Cut Ramp Example

Recommendations

ADA Guidelines

The guidelines listed in this report are intended to convey to City Staff general information regarding accessibility standards and recommendations for compliance. Guidelines for accessibility design are continually changing as the Federal Access Board incorporates new standards into the Americans with Disabilities Act of 1990. Additional information can be found through three primary sources:

- California Code of Regulations (CCR), Title 24 (T24), part of the California Building Code (CBC).
- Americans with Disabilities Act Accessibility "Guidelines for Buildings, Facilities and Outdoor Recreation" (ADAAG) which includes the "Accessibility Guidelines for Recreation Facilities," June 2003 (03 AG).
- "Regulatory Negotiation Committee on Accessibility's Guidelines for Outdoor Developed Areas (99 AG).



Path Areas Exceeding a 5% Slope

Recommendations

BIKE RACKS - #6

Existing Conditions

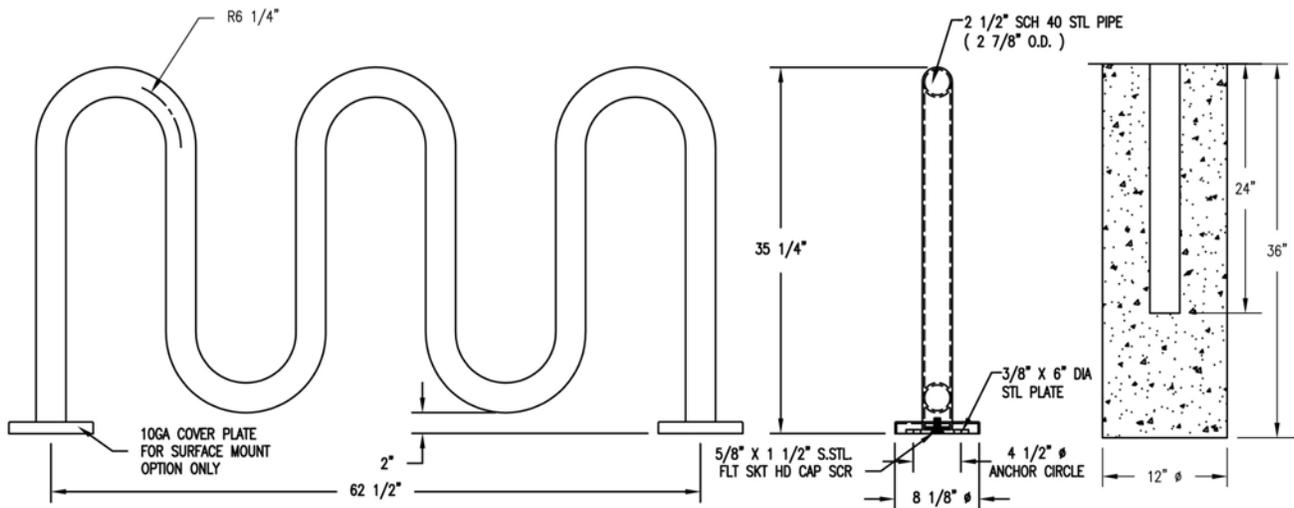
Portable bike racks are located near the tennis courts. Through the public outreach process many residents expressed the need for additional permanent bike rack locations.



Existing Non-Permanent Bike Racks

Recommendations

Per the City of Larkspur Bike Rack Plan, nine new bike racks are planned to be installed at Piper Park; one surface mounted rack near the tennis courts; four in-ground racks near the picnic area; and one near the Department of Public Works and Engineering building. Diagrams and installation costs can be found in the Bike Rack Plan located in the Appendix - D.



Example Bike Rack Detail

Recommendations

SEATING AREA - #7

Existing Conditions

A wood deck platform with a planter containing a pistachio tree was removed due to safety concerns in December 2010. It was located near the northwest side of the tennis courts. The deck was built approximately 15 years ago for special events and for tennis court users. The deck was unsafe because of protruding nails, cracked boards and uneven surfaces. The Department of Public Works had continued to attempt to fix and repair the platform, but its condition became irreparable. The existing pistachio tree was saved.



Deck Platform - Removed in December 2010



Existing Conditions of Deck Platform Area

Recommendations

It is recommended that this area be renovated into a joint-use picnic and seating area for the tennis players and playground users. It could also visually serve as an entrance from the parking lot to the playground and be connected to ADA improvements. This space would consist of concrete or decomposed granite surfacing, shade trees and picnic tables. The space should connect the tennis courts, parking lot and playground.



Aerial of Deck Platform Area

Recommendations

PEDESTRIAN ENTRY IMPROVEMENTS - #8

Existing Conditions

The space located around the main restroom building, near the community gardens, serves a variety of purposes. It is integral in linking the parking lot, restroom, softball field, community gardens and dog park. A large green space exists to the west. The space to the east of the building contains a small turf area with three backless benches, a drinking fountain and a flag pole. In general, this space serves as one of two main pedestrian entries to the park. The other main entry is located near the picnic and playground area. The Department of Public Works and Engineering trailer, located south of the restroom, is considered temporary until a permanent location can be found.



Existing Conditions of West Side of Restroom Building



Existing Conditions of West Side of Restroom Building



Existing Public Works Building



Existing Conditions on East Side of Restroom Building

Recommendations

The spaces to the east and west of the restroom building have the potential to become more formalized plazas with special paving and upgraded planting material. Together, these two areas could serve as a formal gathering area and central hub for the park. Additionally, memorial bricks could be used to generate funds for park upgrades.

When a permanent location is found for Department of Public Works and Engineering, the turf area between the artificial softball field and the parking lot will open up. This would provide an opportunity to acquire more passive open space for Piper Park.

Recommendations



Example of Brick Donations



Example of Small Plaza/Gathering Area With Brick Donations



Example of Small Gathering Area



Example of Mini Educational Plaza



Whimsical Pedestrian Park Entrance



Paving Example

Recommendations

HORSESHOE PITS - #9

Existing Conditions

Two horseshoe pits exist between the parking lot and the picnic area. Each end of the pit contains a steel rod and a low wood wall. They receive very little use from park users and pose a safety risk due to their central location.



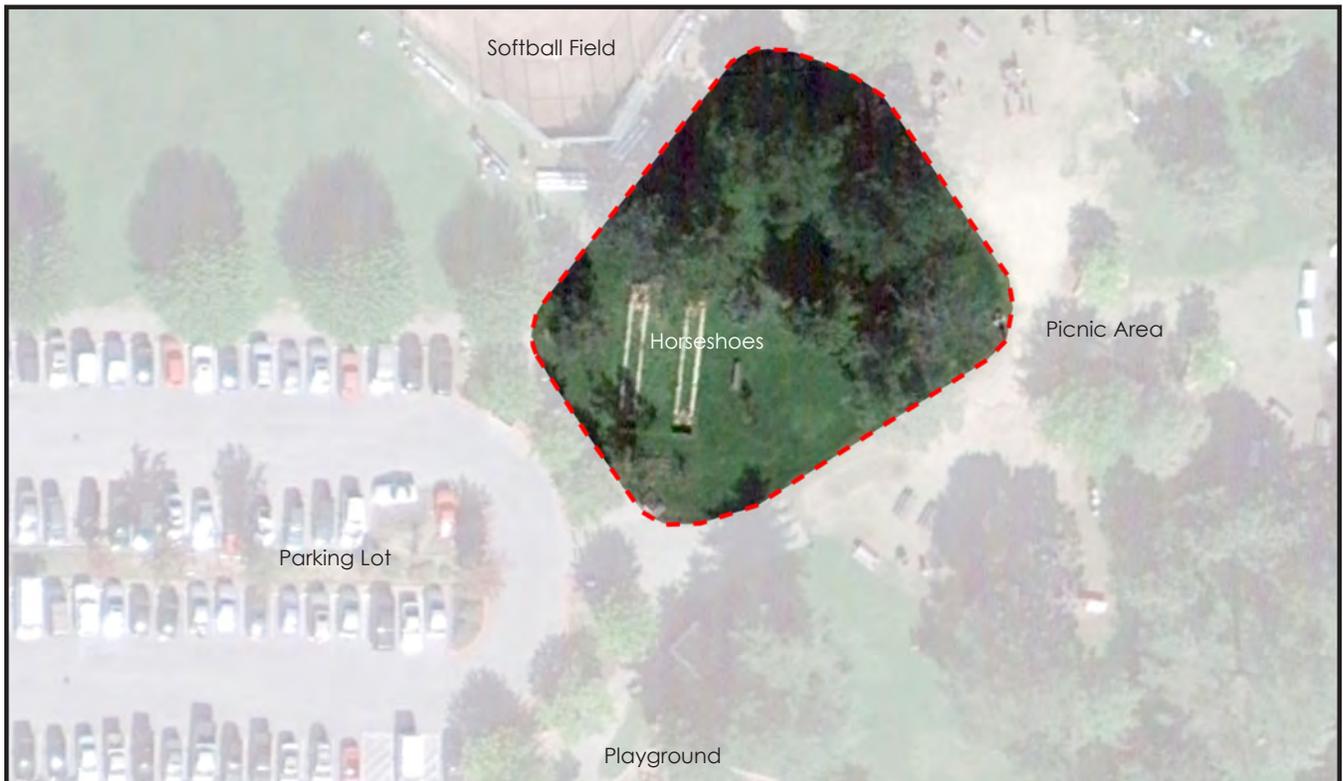
Existing Horse Shore Pits



Existing Horse Shore Pits

Recommendations

It is recommended that the horseshoe pits be removed because of safety concerns and lack of use. This space, surrounded by sidewalks and the picnic area, can be returned to open space turf for general use by park and picnic users. The bench located along the side of the horseshoe pits should be relocated to allow more open space, but the bench near the southern tree can remain in place.



Existing Horseshoe Pits

Piper Park

Playground Recommendations

PLAYGROUND SHADE - #10

Existing Conditions

The existing play area is largely open and lacks significant shade. A few scattered trees and a small roof over the school-age play structure provide minimal shade. Concerns were raised by users regarding sun exposure and the high surface temperatures of the play structures during the summer months. South facing slides and equipment are especially prone to increased surface temperatures. Although Marin County does not typically experience extreme heat, the effect of sun exposure on young children and toddlers, regardless of temperature, has been recognized as a growing concern. Three recommendations have been made to increase shade in the play area.

Recommendation Option #10A

The least expensive and simplest solution to increase shade is to install additional trees around the perimeter of the play area. In particular, trees should be located along the south and western sides of the play area. In order to provide more immediate shade impact, it is recommended that 24" box or larger trees are installed.

Recommendation Option #10B

If new play equipment is installed in the future, manufacturer constructed shade structures should be specified with the equipment. Many new play structures can be specified with an optional rigid or non-rigid shade structure attached to the playground equipment. It should be noted that these shade structures are typically small and do not provide for full shade coverage. These shade options are also largely limited to standard post and platform style structures.

Recommendation Option #10C

The most expensive option, but the option that provides the most coverage, is the installation of a free-standing shade structure covering the entire play area. These structures are available in various sizes and shapes and can be custom designed to fit any playground or space. It is recommended that a fabric sail design with varying heights and cloth colors be used to create a more interesting play environment. It is also recommended that the structure be as minimal in size as possible while still providing for adequate shade coverage. A geotechnical report should be conducted to determine the subgrade conditions and stability before installing the shade structure. Borings should occur directly, or as close to, the proposed location of the structure footings. The geotechnical report will give recommendations on subgrade preparation and footing requirements. A structural engineer should design the posts and footings, taking into account recommendations by the geotech report and other factors such as occupancy, wind loading, and seismic region. Spread footings could be designed to minimize excavation depth. The City's Building Department should review the proposed design and comment if necessary.



Fabric Sail Shade Structure Example



Rigid Shade Structure Example

Playground Recommendations

SAND PLAY WITH WATER - #11

Existing Conditions

The existing playground does not have a sand play feature; however many children and toddlers use the adjacent sand volleyball court for sand play. Through the public outreach process, many expressed the need for a dedicated sand play area for kids.

Recommendation

It is recommended that a small sand play area with access to water, approximately 100 square feet in size, be installed at the playground. It should contain an accessible sand digger and hidden play features in the sand. The water element can be as simple as a small tap that turns on and off by touch. The design and introduction of water should allow kids to dig, explore, create, and build through imagination. Different design solutions should be studied on how to best contain the sand while providing for maximum accessibility.

Maintenance

Sand is often a maintenance challenge. It frequently ends up in drinking fountains and on rubberized safety matting. All surfaces should be swept clean to provide for safe access. Sand should be periodically sifted through to remove any foreign matter and debris. A playground maintenance schedule should be developed based on actual or anticipated playground use. Records of all maintenance repairs and inspections should be kept by the City.



Example of Simple Water Feature



Example of Interactive Sand Play

Playground Recommendations

RUBBERIZED SAFETY MATTING - #12

Existing Conditions

The existing playground is surfaced with engineered wood fiber and contained by a concrete perimeter band. The fiber is replaced and filled on an as-needed basis by the maintenance Staff. Engineered wood fiber provides the simplest, most economically feasible, and accessible play surface. However, wood fiber recently has been challenged on its accessibility compliance. Due to these challenges, the industry has been moving to rubberized safety matting or a mix of the two surfaces.



Existing Entrance to Play Structure A



Existing ADA Ramp into Engineered Wood Fiber

Recommendation

It is recommended that at least 50% of the safety surfacing be converted from engineered wood fiber to rubberized safety matting. Rubberized matting is made from three components: SBR rubber, EPDM rubber and urethane. Recycled tires can be used as long as proper ASTM testing has been conducted. It is also recommended that an aliphatic binder be used to prevent breakdown and sun fading. A ratio of 33% black and 67% color can be used to reduce cost and color intensity. The rubberized matting should be designed to provide access to all transfer stations, half of all swings, and any non-rotating play items. Any rotating play equipment should remain located in engineered wood fiber. The rubberized matting should be installed over a 4 inch base of compacted aggregate and poured to a depth which will protect against the highest fall height based on the manufacturer's recommendations. The primary function of playground surfacing is to protect children from life threatening head injuries in the event of a fall. Matting should be tested per ASTM F1292 for impact attenuation of surface systems. Sub-drainage should be installed and connected to the storm drain system or dry wells. Various patterns, designs and colors can be incorporated into the matting, which could provide an opportunity for public involvement in determining a possible park theme. It should be noted that if a sand play area is installed, the play area design should separate the sand play well away from the rubberized matting. When sand is placed on the matting, sand fills in the pores and can lead to a very slippery surface.

Maintenance

Fine particles can accumulate in porous openings, clogging the material, creating a slippery surface. The surface should be periodically cleaned by sweeping, vacuuming, blowing, raking or hosing off to prevent a build-up of organic material in the matting's pores. Excess debris can also be abrasive and accelerate wear and shorten the surface life. Areas of heavy use may need to be patched on an as-needed basis. Depending on usage, rubberized play surfacing has a lifetime of approximately ten years. The top surfacing layer can be replaced without disturbing the lower layer.

Playground Recommendations



Example of Rubberized Safety Matting Installation



Example of Rubberized Safety Matting

Playground Recommendations

PLAY EQUIPMENT UPGRADE - #13

Existing Conditions

The current playground consists of: one toddler post and platform structure, two school-age post and platform structures and a duel bay swing containing two standard swings and two bucket seat swings. Play structures A and B are within the recommended standards with one ground level play component. Play structure C is not within the standards, since it does not contain any ground level play components. Through the public outreach process many parents expressed a need for more creative play equipment.



Existing Play Area Site Plan



Existing Play Area Looking South



Existing Swings

Playground Recommendations



Toddler Play Structure (A)
Elevated Play Components
(1) transfer station
(2) single slides
(1) double slide
(1) curved rail climber

Ground Level Play Components:
(1) play panel, no theme



School-Age Play Structure (B)
Elevated Play Components
No transfer station
(1) curved rail climber
(1) single slide
(1) chain climber
(1) vertical rail climber

Ground Level Play Components:
Tire swing



School-Age Play Structure (C)
Elevated Play Components
No transfer station
(2) play panels - outside airplane theme and inside driving theme
(1) horizontal monkey bar
(1) crawl tube
(2) chin-up bars
(1) Overhead track glider

Ground Level Play Components:
NA

Playground Recommendations

Recommendation

It is recommended that play equipment be replaced with new equipment that focuses more on themed and imaginative play opportunities with sensory and creative play features. The equipment should be age-specific, made from sustainable materials and be accessible. New play structures on the market are providing greater accessibility and play value than the traditional post and platform structures. The layout of new play equipment should be coordinated with future play area improvements such as rubberized safety matting, shade elements, a sand play feature and perimeter fencing. The existing play area footprint may need to be modified to meet the fall zone requirements of new play structures. Any improvements to the playground should comply with ASTM Standard Specifications, the Americans with Disabilities Act, the U.S. Consumer Product Safety Commission and the National Playground Safety Institute. See Appendix-F for Landscape Structures proposed upgrades.

Maintenance

Manufacturer's maintenance instructions and recommended inspection schedules should be strictly followed. If manufacturer's recommendations are not available, a playground maintenance schedule should be developed based on actual or anticipated playground use. Records of all maintenance repairs and inspections should be kept by the City. All inspections must be performed by a Certified Playground Inspector.



Example of Custom Space Themed Playground



Example of Evos Play Structure, Non Post & Platform



Example of Ship Themed Playground

Playground Recommendations



Example of New Play Equipment



Example of Sand Play with Concrete Snail



Example Themed Playground

Playground Recommendations

ADA Playground Guidelines

The guidelines listed in this report are intended to convey to City Staff general information regarding accessibility standards and recommendations for compliance. Guidelines for accessibility design are continually changing as the Federal Access Board incorporates new standards in to the Americans with Disabilities Act of 1990, creating new guidelines effective March 15, 2012. It should be noted that generally, existing facilities, while subject to certain ADA requirements, are not addressed by ADAAG except where altered. Additional information can be found through the following sources:

- California Code of Regulations (CCR), Title 24 (T24), part of the California building code (CBC).
- Americans with Disabilities Act Accessibility "Guidelines for Buildings, Facilities and Outdoor Recreation" (ADAAG) which includes the "Accessibility Guidelines for Recreation Facilities," June 2003 (03 AG).
- "Regulatory Negotiation Committee on Accessibility's Guidelines for Outdoor Developed Areas (99 AG).
- American Society for Testing and Materials
 - F-1487-07: standard Consumer Safety Performance Specification for Playground Equipment for Public Use.
 - F-2223-04: Standard Guide for ASTM Standards on Playground Surfacing.
- Consumer Product Safety Commission (CPSC) Handbook for Public Playground Safety.
- United States Access Board Accessibility Guidelines for Play Areas.
- United States Consumer Product Safety Commission (CPSC) National Electronic Injury Surveillance System (NEISS)



Example of Accessible Transfer Station



Example of Accessible Play Panel



Example of a Sensory Play Station



Example of Accessible Spring Platform

Playground Recommendations

PERIMETER FENCING AT PLAYGROUND - #14

Existing Conditions

Through the public outreach process, many parents expressed a concern about toddlers and children running into the parking lot while using in the playground. The entrance to the playground is located approximately 40 feet from the parking lot and is unrestricted. The parking lot has slow vehicular circulation, but the tennis courts to the west can block the view from the playground.



Existing Conditions of Playground Entrance from Parking Lot



Existing Western Playground Edge Looking North

Recommendation

It is recommended that a 3 foot high fence be installed either at the play area entrance or completely around the playground perimeter. At minimum, entrances through the fencing should be placed near the parking lot, restrooms and turf area to the east. Many parents and children use this turf hill to the east, so careful layout considerations should be made to be include this hill in the fenced area of the playground. Fencing located in turf should be installed in an 8 inch wide concrete mow band to reduce maintenance. If vertical posts are used, the spacing between must be less than 3.5 inches and greater than 9 inches to eliminate head entrapment. It is recommended that the design of the perimeter fencing be constructed of natural materials with a park-like look.



Example of Playground Perimeter Fencing



Example of Playground Perimeter Fencing

Piper Park

Community Garden Recommendations

SECURITY IMPROVEMENTS - #15

Existing Conditions

Currently, the gardens are enclosed by a 6 foot chain link fence with a gated entry near the artificial turf field. The gated entrance is secured by a central post and latched louver and padlock. There have been instances of the gate being left open resulting in stolen produce. The garden community has asked for a more secure locking mechanism.



Existing Conditions Community Garden Entrance



Existing Conditions Community Garden Entrance

Recommendation

A self-closing gate with a dual-sided keypad is recommended at the garden entrance. The gate should be large enough to admit a large wheelbarrow.



Aerial Photo

Community Garden Recommendations

PLOT IMPROVEMENTS - #16

Existing Conditions

Each garden plot is separated by a redwood header board. The boards are approximately 10 years old, and some are beginning show signs of deterioration.



Existing Conditions Community Gardens



Existing Conditions Community Garden Edge Treatment

Recommendation Option #16A

Once the boards interfere with accessibility or pose a safety risk, they should be replaced. This may be performed on an as-needed basis. Garden members and park staff should work closely on installation and continued maintenance.

Recommendation Option #16B

A more permanent solution would be the installation of stable edging materials such as aluminum or wood composite lumber ('Trex') edging along the north-south boundaries of each plot. Such stable materials as these would reduce ongoing maintenance costs. If needed by garden members, more permanent edge treatments could be installed by Department of Public Works Staff.

Piper Park

Dog Park Recommendations

ADDITIONAL SHADE - #17

Existing Conditions

Existing trees located in the dog park have been slow-growing due to poor soil conditions. On hot summer days, this western-facing space can heat up to an uncomfortable level for both people and dogs.



Existing Conditions Small Dog Area



Existing Trees in Dog Park

Recommendation Option #17A

Additional trees could be installed with a greater excavation width to improve root growth and overall tree health. Standard tree pit excavation size is two to three times the width of the root ball. By installing trees at an excavation size four times the width of the root ball, it would allow the roots to grow faster. Trees that are 24 inch box size or larger should be used. It should be noted that it will be difficult to achieve a fast and full-growing tree due to the subgrade conditions and proximity to salt water.

Recommendation Option #17B

The installation of an arbor has been discussed previously by the City. An arbor would provide instant and permanent year-round protection from both sun and rain. A custom wood or prefabricated steel structure could be used. A less expensive option would be the use of a simple removable shade cloth or nursery netting. In order to soften the structure, a climbing plant such as jasmine could also be used. The arbor should bridge both the large and small dog areas and include a bench or picnic table on each side. Posts and footings should be designed by a structural engineer and receive review and comment from the City's Building Department as necessary.



Example of Steel Shade Structures



Example of Wood Arbor

Dog Park Recommendations

SURFACE MATERIAL - #18

Existing Conditions

The dog park is bordered by a 4 foot high black chain link fence and surfaced with dirt. The City removed the bark mulch that previously covered the park after complaints from owners.



Existing Edge Treatment at Dog Park



Existing Edge Treatment at Dog Park

The City is working with the park user group to identify a new, acceptable surface for the dog park area. Surfaces identified to date by the user group as acceptable include decomposed granite, turf, and artificial turf. Each has some issues that will need to be addressed. Decomposed granite would be an all weather surface but is also dusty and can migrate. Turf cannot be sustained in the heavy use areas, but could be used away from the gate areas. Turf installation would require soil conditioning and irrigation. Long term maintenance costs would increase with turf due to the cost of mowing and irrigation. Synthetic turf wears well but does retain urine and feces smells and bacteria. The best solution is potentially a combination of materials, with decomposed granite in the highest use areas and dirt or turf in the outlying portions of the dog park.

Piper Park

Picnic Area Recommendations

ADDITIONAL SHADE - #19

Existing Conditions

The barbeque and picnic area is located to the north of the play area. It is organized in a three leaf clover pattern, with 30 wood picnic tables and 12 concrete barbeque grills. Trees encompass the majority of the perimeter except along the south side, where tables #25 through #28 receive direct southern sun exposure. The central space of the picnic area also lacks sizable trees to shade tables #1 through #4 to the north.



Existing Picnic Area Looking South, Tables 25-28 Shown



Existing Picnic Area Looking North, Tables 1-4 Shown

Recommendation

Additional shade trees, ideally 24 inch box or larger, are needed to shade tables #25 through #28 and #1 through #4. Locations should be field verified with the Parks Department prior to installation. Locations should not disrupt the path of travel or accessibility. Two irrigation bubblers should be installed per tree.



Aerial Image

Picnic Area Recommendations

RAISED PLANTER IMPROVEMENTS - #20

Existing Conditions

Three planters shaped in concave triangles are located in the central space of the picnic area. They are bounded by 16" high raised concrete seat walls, and each contains one tree located in the center. The concrete walls are in good shape, but the plantings have died, and irrigation boxes and tubing are exposed due to low soil levels.



Existing Planter in Picnic Area



Existing Planter Conditions in Picnic Area

Recommendation

It is recommended that the planters receive a face lift with new planting and upgraded irrigation. The planting strategy should include plants which are low water use, shade tolerant, hardy, and reflect the park's maintenance capabilities. Irrigation can be upgraded to overhead spray or below ground drip. Planting upgrades could include involvement of the community members.



Illustrative Photoshop Rendering

Piper Park

Sports Field Recommendations

GRADING AND DRAINAGE - #21

Existing Conditions

Piper Park is located on an existing landfill that continues to shift and move due to environmental and tectonic conditions. The underlying fill potentially contains considerable voids and debris. This has resulted in significant localized settlement, drainage issues and irrigation problems. The fill is capped by a layer of clay at an unspecified depth. This clay layer acts as an impermeable surface, preventing drainage and percolation of water through the subgrade. The clay cap in turn causes drainage problems on the surface that affect field play. A storm drain exists, which connects to the parking lot system, at the southern end of the softball fields. Additional storm drains are located on the east and west sides of the park and drain directly into the wetlands. These drains help, but due to grading differences, they are only effective locally. The current plan of action by the maintenance Staff is to close the fields from November to May and to fill and compact affected areas on an as-needed basis. According to the Public Intercept Survey response, grading and drainage issues ranked as the top item needing improvements. The settlement and poor drainage create an uneven field surface.



Existing Sports Field Looking West



Existing Sports Field Looking North West

Recommendation #21A – Short Term

The short-term recommendation is to continue focusing on localized settlement on an as-needed basis. In particular, softball players have expressed the need for improving drainage to their fields in order to begin a season in January. Affected areas should be over-excavated and replaced with compacted, imported engineered fill. If a particular area is prone to settlement, a localized structural geogrid, as described in the long-term solution, could be installed. A sub-drainage system, consisting of perforated pipe sloped at a minimum of 1%, surrounded by drainage rock and connecting to an existing storm drain line, could also be used in these areas. The geogrid should ideally be installed a few feet beyond an affected area and pulled as tight as possible. Existing irrigation would need to be adjusted to meet new surface elevations.

Recommendation #21B– Long Term

The long term recommendation is to fully excavate approximately 420,000 SF of the park, which would include all natural turf sports fields and perimeter paths located over existing fill. Installation of an aggregate sub-base with engineered fill and a structural woven or non-woven geogrid would create a stiffened platform over the weak, compressible soils. Additionally, a sub-drain system connected to the existing storm drain system would be required for positive drainage. Due to the extensive excavation of this recommendation, a new irrigation system should be considered. The geogrid would distribute surface loads both broadly and uniformly over underlying soils and reduce differential settlement by forming a rigid mat. Utilizing this system would improve the margin of safety for unforeseen soil conditions. A geotechnical report and additional investigations would be required to determine the extent of subsurface conditions and will provide specific recommendations. At a minimum, the report should

Sports Field Recommendations

include field and laboratory testing programs; groundwater conditions; seismic conditions; liquefaction potential; recommendations for remedial earthwork; recommendations for footing foundations and flatwork; geotechnical parameters for lateral bearing and frictional resistance; and lateral pressure recommendations. All engineered fill should be sampled and tested by a representative to confirm that it meets specifications. The cost associated with this solution would be significant, but would provide for the most effective, long-term solution.

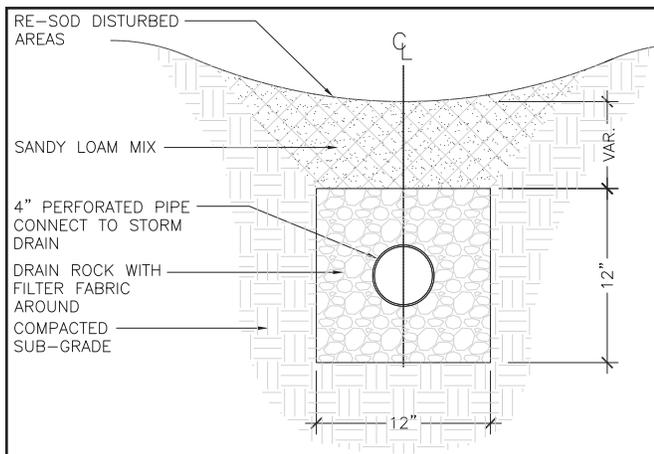
Improvements to the existing irrigation system as described in Site Recommendation #1 would also improve site drainage issues. Specifically, the separation of irrigation heads located on higher dry areas and lower wet areas would allow more flexibility for controller scheduling.



Existing Catch Basin Near West Soccer Goal



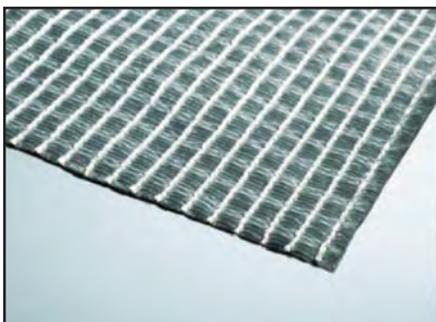
Existing Catch Basin Near East Soccer Goal



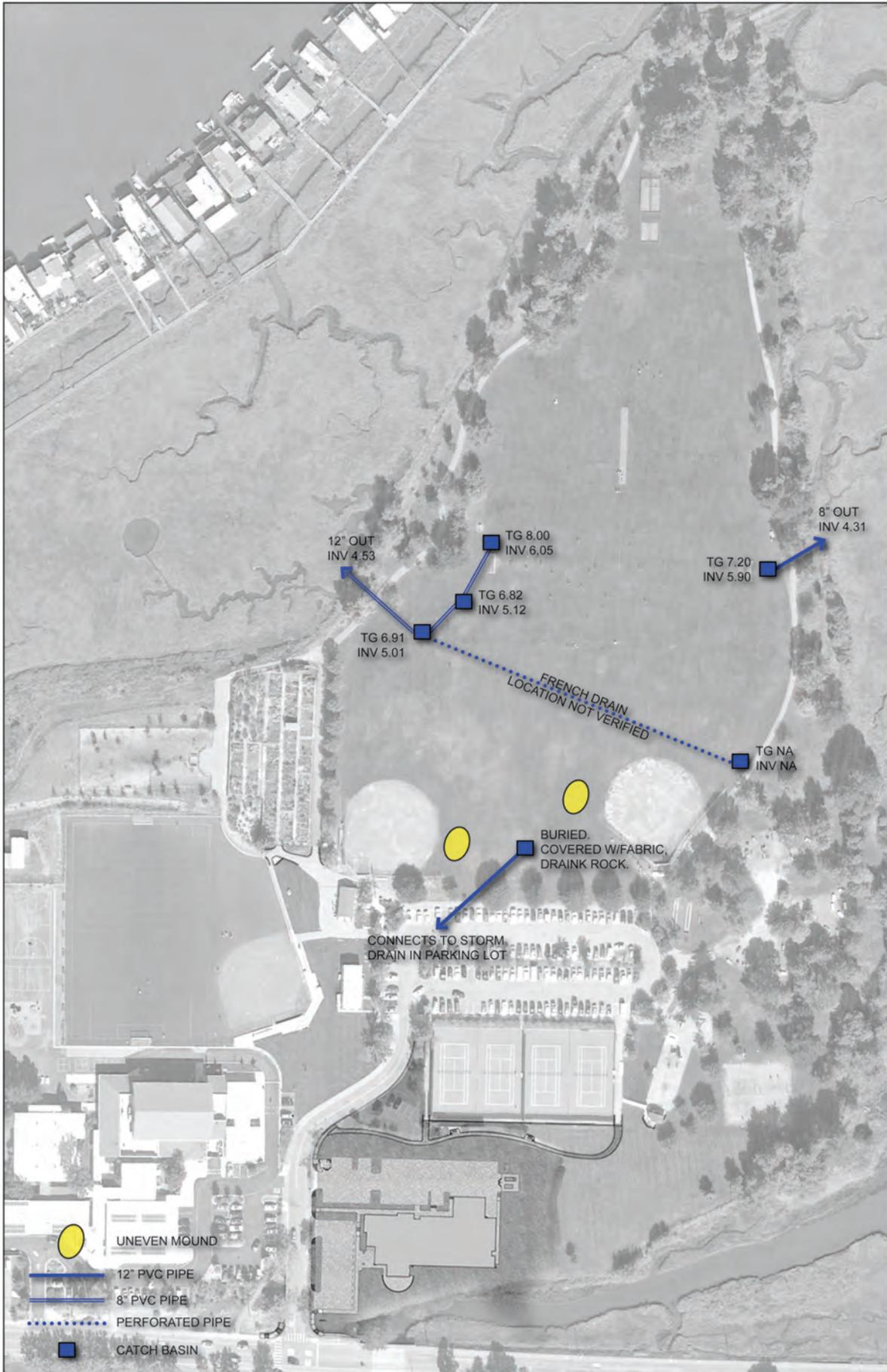
Example Sub-drain Detail



Sub-drain Construction



Geotextile Fabrics



LARKSPUR PIPER PARK

EXISTING SPORTS FIELD DRAINAGE



Sports Field Recommendations

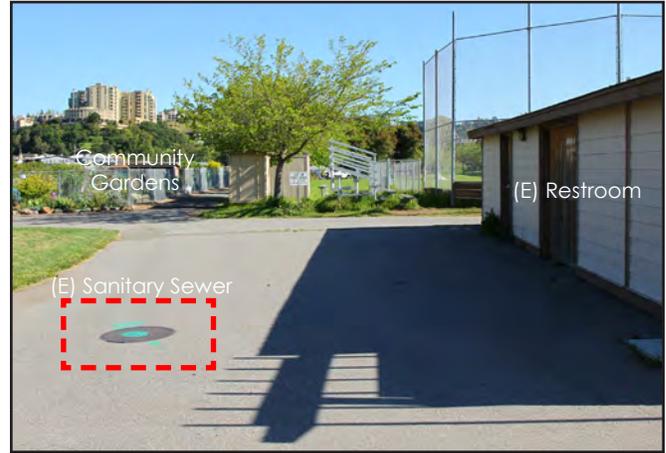
NEW RESTROOM - #22

Existing Conditions

There are currently two restrooms at Piper Park: one near the playground, and the other near the community gardens. Many cricket and lacrosse players have expressed the need for an additional restroom facility at the north end of the park. Currently, the distance to the closest restroom, which is 690'+/- from the center of the cricket pitch, can cause disruptions in game play. During large sports events, portable restrooms are used at the north end of the park to accommodate the increased usage.



Existing Picnic Area near Proposed Restroom Site, Looking South



Existing Sanitary Sewer Connection, Looking North

Recommendation #22A – Short Term

The short term recommendation is to install a temporary portable restroom unit that is maintained by a waste management company. The unit should be located on a concrete pad and secured to the ground to prevent vandalism. A perimeter wood screen fence should be installed on three sides of the unit to make it more visually pleasing.

Recommendation #22B – Long Term

The long-term solution is to install a new, permanent, single-user, prefabricated restroom structure. The structure should be vandal resistant, ADA compliant, contain an external drinking fountain and designed to be aesthetically consistent with the two existing restrooms at the park. See Recommendation #5 for additional accessibility information. The floor plan should consist of separate single-user women's and men's rooms measuring approximately 8'x 8' each and include an approximately 60 SF storage/mechanical room. The approximate total building footprint would be 17'x 14'. Floor plans should be reviewed by the City and park users to determine appropriate room sizes based on usage. A sports changing room could be added to the building, if deemed necessary. Engineering would be required, and all drawings should be reviewed by the City of Larkspur Building Department. A geotechnical report, as described in the long-term solution to grading and drainage issues, should be conducted to determine the proper design of the concrete slab. Because of the low elevations at the north end of Piper Park and long distance between the proposed building location and connection to sewer services, a pump may be required. Further study should be conducted to determine whether a pump is necessary or if the subgrade can be raised to gain the proper pipe slopes.

Sports Field Recommendations



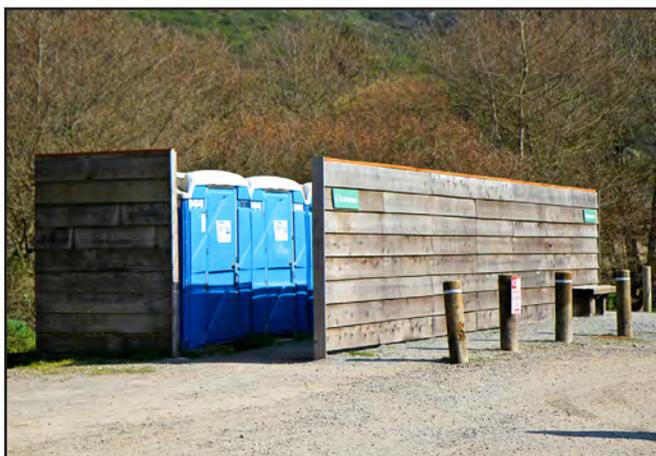
Location of Proposed Restroom



Example of Prefabricated Restroom



Example of Prefabricated Restroom



Example of Portable Restroom with Wood Screen

Sports Field Recommendations

SOFTBALL UPGRADES - #23

Existing Conditions

Softball users expressed a need for upgrades to the dugouts at the two natural turf fields. The two concerns raised were shade and space. The existing dugouts are in good condition and consist of chainlink fenced sides, open ends, surface mounted backless benches, and concrete pad. A softball batting cage has been proposed and approved by Council. The approved cage is approximately 10' x 60' x 10' and constructed of vinyl coated fencing with a wood composite barrier at the base.



Existing Softball Dugout at West Field



New Batting Cage Location

Recommendation

It is recommended that a roof be installed over the dugouts and a shelf unit added for additional storage. The shelving unit can be constructed of chain-link fencing and attached to the existing dugout fence. The purpose of the shelf is to hold helmets, hats, gloves and other softball gear. The roof should be designed by a structural engineer and made from minimal, lightweight materials. Because Piper Park is not a formal sports park, it is important that the design of the roof be minimal to reflect the park program and use intent. Softball users should work with Park Staff to appropriately address specific design needs.



Example Dugout Shade Tarp



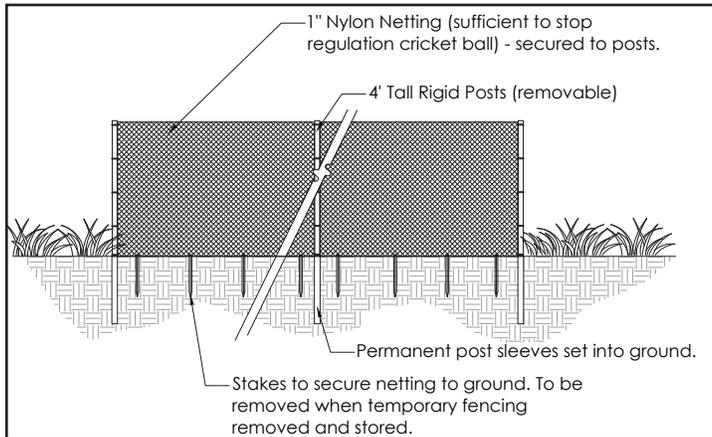
Example Dugout With Shelf & Cover

Sports Field Recommendations

MARSH PROTECTION FENCING AT CRICKET FIELD - #24

Existing Conditions

No marsh protection fencing exists. Cricket players have raised concern over cricket balls entering the marsh along the eastern side of the field. This poses two problems; the first is the high cost of a lost cricket ball; and the second is the concern of people entering the marsh to search for a lost ball. It is recommended by Park Staff that people stay out of the marsh for personal safety and to not disrupt the sensitive marsh habitat.



Removable Cricket Fencing Detail



Location of Proposed Barrier, Looking North

Recommendation

It is recommended that approximately 180 linear feet of 4 foot or lower fencing be installed along the eastern side of the cricket field. The fencing should be designed as minimally intrusive as possible, while still being able to serve its intended purpose. Ideally, the fence should be removable and easily stored, to be used only during cricket events. The fence should also blend into the landscape and not affect any other park activities. Cricket users should work with park staff to appropriately address specific design needs.



Location of Proposed Barrier

Sports Field Recommendations

MARSH PROTECTION BARRIER AT ARTIFICIAL TURF FIELD - #25

Existing Conditions

Concerns have been raised regarding the migration of the artificial turf rubber pellets into the adjacent wetlands. It is assumed that the movement is occurring by both water drainage and wind. Assumptions are based on site visits and no scientific reports have been conducted to examine the extent or impact of the pellet migration. It is assumed that when rubber pellets enter the bioswale located between the dog park and the artificial turf field, they are flushed into the wetlands to the west. Although there currently is fencing around the perimeter of the artificial turf field, the permeable chain link fabric is insufficient to contain the pellets.



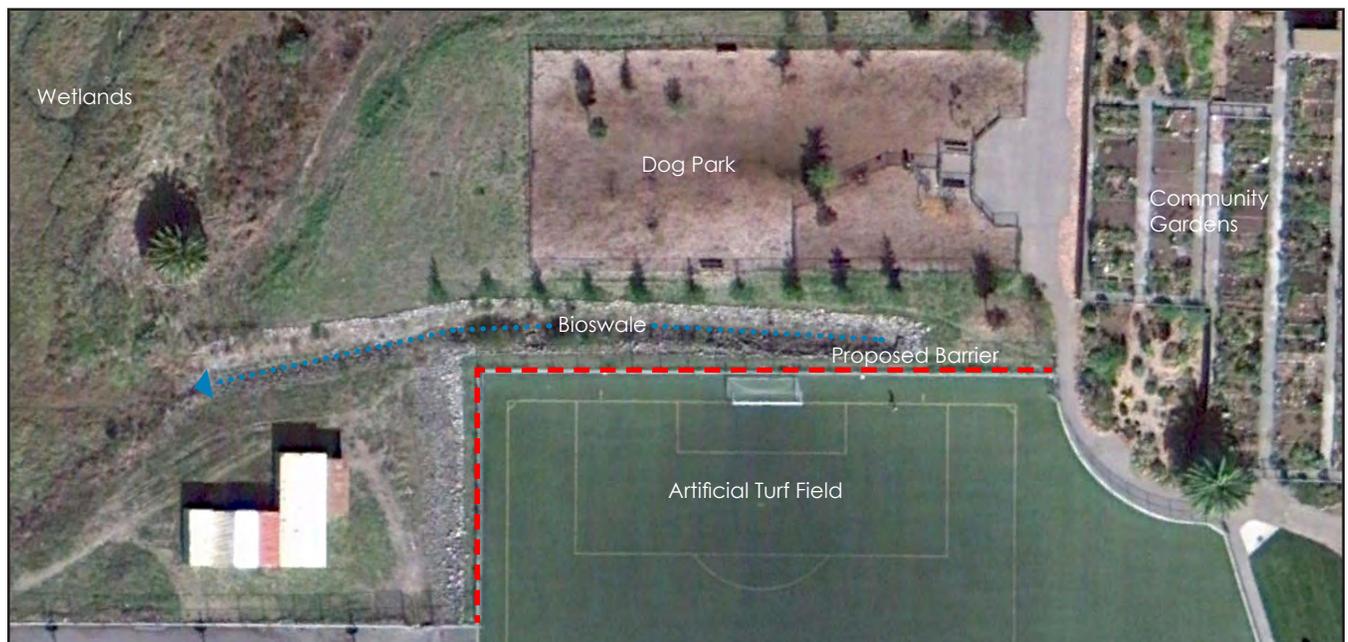
Existing Conditions Along North Edge of Field, Looking West



Existing Storm Drain Next to Artificial Turf Field

Recommendation

It is recommended that a barrier be installed, along the north and northwest edge of the artificial turf field to contain the rubber field pellets. The barrier can be integrated into the existing fencing or placed on the non-playing field side. The barrier should be designed as minimally as possible, such as installation of a 2 x 4 plastic lumber header, while not affecting sports play or drainage.



Aerial Photo

Sports Field Recommendations

ARTIFICIAL TURF FIELD REPLACEMENT - #26

Existing Conditions

Depending on the usage, artificial turf field surfaces have an approximate lifespan of 10 years. The existing field at Hall Middle School is approximately 7 years old and receives heavy usage by both park users, school users and the community.



Existing Artificial Turf Field



Existing Artificial Turf Field & Infield

Recommendation

It is recommended that the City have the turf manufacturer provide an on-site evaluation on the condition of the surface, and make recommendations on when proper replacement is necessary. From a safety and warranty standpoint, it is important to prepare for the investment of a new surface.



Aerial Photo

Sports Field Recommendations

ARTIFICIAL TURF FIELD BALL NETTING - #27

Existing Conditions

The artificial turf field is currently contained by a 12 foot high chainlink fence. Though the public outreach process, it was noted that many soccer balls are inadvertently kicked over the fence into the dog park and into the bioswale located between the dog park and the field.



Existing Conditions Between Dog Park & Field, Looking West



Existing Conditions Between Dog Park & Field, Looking West

Recommendation

In order to keep people out of sensitive habitat and the dog park, it is recommended that a ball net be installed over the chain link fencing. Soccer users should work with parks staff to determine proper netting height.



Aerial Photo



Piper Park

New Program Elements

BOCCE COURT - #28

Existing Conditions

Bocce was included in the 1997 Master Plan but never implemented. Next to soccer and golf, bocce is the third most participated sport in the world and has recently become a popular recreational trend in the United States. It appeals to all age groups and encourages community and social interaction.

Recommendation

It is recommended that one or two courts be installed north of the picnic area. The project could be citizen funded and constructed in coordination with the City of Larkspur. A typical season is eight games over seven weeks with a fee of \$100 per team twice a year. A minimum of two players is required for each team.



Proposed Bocce Location



Example Bocce Courts - Sausalito



Example Bocce Courts - Sausalito

New Program Elements

ADULT EXERCISE EQUIPMENT - # 29

Adult exercise equipment designed for the outdoors is a new trend in recreation and has become increasingly popular. Its appeal spans all ages including seniors. Individual pieces can be selected or clusters that address different muscle groups. The equipment could be integrated into the active zone, either in a single area or spread out along the walking path.



Example Outdoor Fitness Equipment



Example Outdoor Fitness Equipment



Example Outdoor Fitness Equipment



Example Outdoor Fitness Equipment

Piper Park Maintenance

VOLLEYBALL COURT MAINTENANCE

Existing Conditions

Two sand volleyball courts are located east of the playground. The courts require a high degree of labor-intensive maintenance to keep the sand free from encroaching turf grass. Due to the City's Pest Management Policy and proximity to the playground, turf grass can only be removed by hand. With recent limitations on budget, the maintenance Staff has expressed concern over their continued efforts to keep the courts turf-free. Volleyball players do not currently pay fees to play at Piper Park.



Existing Conditions of Sand Volleyball Court



Existing Conditions of Sand Volleyball Court

Recommendations

Due to the economic constraints and lack of user fees, it is recommended that the courts be maintained on an as-needed basis related to maintenance resources. The courts could potentially be left alone to gradually become grass courts.



Aerial Photo



Piper Park

Sustainable Strategies

SUSTAINABLE STRATEGIES

Larkspur is a small, but progressive minded community that has taken action to reduce its environmental impact. The City has identified sustainability as an important goal of the City, with the adoption of such elements as the Climate Action Plan, Green Building Standards Code, and a Pest Management Plan based on integrated pest management principles.

The following are sustainable strategies that the City of Larkspur may need either to legally comply with State and Federal Ordinances or to comply with their sustainability goals.

C.3 Stormwater Regulations

In 1972, the EPA created the National Pollutant Discharge Elimination System (NPDES) permit program, in an effort to improve water quality throughout the country. These controls, and specifically an NPDES permit, are intended to regulate point source pollutants that are discharged into U.S. waters. NPDES permits are administered typically by states. C.3 regulations are a provision of the NPDES permit and relates directly to the control of storm water- specifically with regard to new development and redevelopment.

For any future park development or redevelopment in Piper Park, it will be required to meet the NPDES C.3 regulations. Prior to any construction, during early design phases, the City can reduce its impact on water quality by reducing impervious surfacing, use of green roofs, installing rain gardens, and creation of vegetated bio-swales. Prior to and during construction, such elements as an erosion control plan noting the BMP's (Best Management Practices) that will be used on site must be prepared along with implementation of control and treatment measures.

Larkspur, as part of Marin County, must comply with the regulations under the Marin County Storm Water Pollution Prevention Program (MCSTOPPP). This program was formed in response to the standards set by the Federal Clean Water Act and Water Quality Control Plan for the San Francisco Bay Region. The requirements of this program apply to both private and municipal capital improvement projects and address such issues as BMP's treatment measures, control measures (quality and quantity), and site design principles.

Although the City should always keep storm water runoff control and quality as a top priority during any type of planning and construction, it should pay special attention to those areas of the park adjacent to the marsh. This is a great opportunity to undertake projects which protect this fragile natural resource, while also using the projects as an educational tool to inform the public of the importance of storm water reduction and water resource protection.

Green Building and Construction

There is great opportunity to use sustainable strategies through thoughtful use of landscape materials and green building practices which will supplement the adopted Green Building Standards Code. National programs such as the LEED (Leadership in Energy and Environmental Design) rating system is a voluntary program that provides guidelines for a wide range of building projects with many "points" awarded to the use of sustainable materials and practices in the landscape, www.usgbc.org. Another program, the Sustainable Sites Initiative, is more landscape focused and provides "voluntary national guidelines and performance benchmarks for sustainable land design, construction and maintenance practices."

Below is a summary of different ways to make Piper Park more sustainable:

- Use restroom facilities that incorporate green building designs including low water use fixtures. These buildings should be educational opportunities and also integrate all aspects of green building design.

Piper Park

Sustainable Strategies

- Specify landscape materials and site furnishings which utilize post and pre-consumer recycled material, and/or are constructed from materials that are easily recyclable; and/or from those manufacturers which practice energy efficiency, minimize resource consumption and lessen their overall impact on the environment. Examples of such materials include, but are not limited to: fly ash, aluminum, plastic, bamboo and steel.
- Promote the use of regional materials, by incorporating landscape materials extracted, harvested or recovered as well as manufactured or grown, within 500 miles or less from Larkspur.
- Include both abundant planting of shade trees and the use of paving that is light in color and/or pervious wherever possible. Heat island Effect is caused by dark, non-reflective surfaces such as asphalt, which absorb and radiate heat, raising the surrounding temperatures. Planting shade trees in conjunction with any paved area will help to reduce heat island effect.
- Use lumber that is sustainably harvested. Many of the wood products used today are from trees harvested from around the world. Purchasing products that are Forest Stewardship Council (FSC) certified helps to guarantee that the wood used was obtained through sustainable methods that help protect and manage forests properly.
- Select furnishings and materials that do not require intensive maintenance such as painted surfaces or materials that are susceptible to rust and weathering.
- Use plants and landscape materials that are durable, drought-tolerant and low-maintenance. Specify plants that do not produce excessive litter or require excessive pruning. Purchase plant materials from vendors who practice sustainable plant production. Use organic soil amendments and organic, slow-release fertilizers (non-petroleum based).
- Reduce the use of potable water for irrigation.
- Ensure all maintenance personnel are trained in proper pruning techniques based on species and/or managed by a certified tree care professional.
- Continue to promote the use of Integrated Pest Management practices to reduce or remove the unnecessary use of pesticides and herbicides in the landscape. Explore the use of other pest management strategies such as the installation of barn owl boxes. The use of these natural predators in Piper Park would be an excellent opportunity to stop the use of any pesticides and rodenticides and further educate the community. Owl cameras could be placed in the boxes and linked to live feed on the City website or future Facebook page.
- Promote composting of on-site materials generated through maintenance practices (wood chips, lawn trimmings) and use in the landscape. Collect and compost excess organic materials such as limbs or leaf litter that may contribute to fire fuel loads.
- Create a landscape monitoring plan and checklist to detect plant health or potential problems, including introduction and control of invasive species.
- Properly maintain all gas-powered maintenance equipment. Incorporate non-gas powered technology as it becomes available to minimize both air and noise pollution.
- Limit the use of high-pressure blower machinery to reduce the removal of natural duff and mulch which plays an important role in weed control, nutrient cycling and soil moisture retention. Balance this effort with all fire safety guidelines.

Piper Park

Overall Recommendations

RECOMMENDATION PRIORITIES

The Parks and Recreation Commission noted the following master plan recommendations as those which carry the greatest priority for action at Piper Park:

Recommendation Priorities (1= highest priority) (Numbers refer to the following chart where all recommendations are listed)

1. ADA Accessibility Compliance
2. Irrigation Upgrades (Irrigation #1A - 1D)
3. Fix Fields (#21 - Grading and Drainage)
4. Playground Improvements (#10 - Playground Shade, #11 - Sand Play with Water, #12 - Rubberized Safety Matting, #13 - Play Equipment Upgrade and #14 - Perimeter Fencing)
5. Picnic Area and Horseshoe Removal (#9 - Horseshoe Pits, #19 - Additional Shade & #20 Raised Bed Update).

RECOMMENDATION CHART

The following chart "Master Plan Update Recommendations" lists the identified park recommendations with the following categories: time frame, funding (user and fee), contractor installed, city installed, estimated cost and additional notes. This chart provides a quick reference to help identify future priorities based on these categories.



Figure 1.7

	Site Improvements	Timeframe	User Funded	Fee Funded	Grant Funded	Contractor Installed	City Installed	Estimated Cost	Notes
1A	Irrigation Improvements ET Upgrade	Short					X	\$1,000	Install Logic Receiver and Weather Sensor to allow controllers to download daily ET data. No Central Control.
1B	Irrigation Improvements ET & Internet Based Central Control	Medium				X		\$5,000 - \$10,000 (Initial Cost)	Central control system to be implemented and coordinated with larger City plan. Controller to be based on accurate ET data from local weather station. Upgrades per State and local MMWD Model Water Ordinance.
1C	Irrigation Improvements ET & Program Based Central Control	Medium				X		\$15,000 - \$25,000 (Initial Cost)	Central control system to be implemented and coordinated with larger City plan. Controller to be based on accurate ET data from local weather station. Upgrades per State and local MMWD Model Water Ordinance.
1D	Irrigation Improvements Water Saving Technologies	Medium				X	X	TBD	Update components of existing system with focus on water reduction. Check valve, pressure reducers, flow meter, low flow spray heads, drip irrigation. Upgrade per State and local Model Water Ordinance.
2A	Additional Park Benches & Picnic Tables	Short	X				X	\$3,500 (Per Table) \$1,500 (Per Bench)	Install additional benches and tables in shaded areas. Locations to be reviewed.
2B	Accessible Surface under Tables & Benches	Short					X	\$600 (Per Pad)	Install concrete pads under benches to assist with winter drainage problems. Include accessible pad with connection to path.
3	Additional Trees & Planting	Short	X				X	\$120 - \$300 (Per Tree); 30 trees	Plant additional trees and restore native planting at park edges. Remove invasive species. Tree locations to be reviewed. Additional planting on west side of community gardens.
4A	Entry Signage	Short				X		\$5,000 to \$15,000	Coordinate with Hall School and Park & Rec.
4B	Educational Signage	Medium					X	\$2,800 Per Sign	The content of the signs should focus on the parks unique natural character and environmental awareness.
5	Repair Flatwork	Short				X	X	\$6.00 - \$10.00 SF (non reinforced)	Continue repair of asphalt and concrete to meet ADA guidelines. Use of root barrier and engineered subgrade to prevent cracking.
6	Bike Racks	Short	X				X	\$600 (Per Rack)	Install 5 bike racks per City Bike Rack plan. Locations to be reviewed.
7	Seating Area	Short				X	X	\$5,000 - \$15,000	Remove tennis court deck platform due to safety issues. Install picnic area. Existing tree to be saved and protected.
8	Pedestrian Entry Improvements	Long	X			X		\$20,000 - \$60,000	Update planting around existing building. Install special paving to create a defined central space linking parking lot, restroom, softball field, community gardens and dog park. Possible use of donor bricks.
9	Horseshoe Pits	Short					X	NA	Remove horse shoe pits due to lack of users and safety concerns. Replace with landscaping or picnic tables.
	Playground	Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
10A	Playground Shade	Short	X		X		X	\$120 - \$300 (Per Tree)	Install additional trees to block sun during summer months
10B	Playground Shade	Medium	X		X	X		Include in Cost of New Play Equipment	New playground equipment to include pre-manufactured shade element that attaches directly to structure posts.
10C	Playground Shade	Long	X		X	X		\$40,000 - \$60,000	Install large shade canopy structure covering both play areas. Requires geotechnical report and structural engineer.
11	Sand Play with Water	Medium	X			X		\$15,000	Install small sand play area with a small water feature that includes a digger or other exploratory play items.
12	Rubberized Safety Matting	Medium	X		X	X		\$112,000 (Full coverage of existing area, includes 4" agg. Base)	Full ADA compliance. Matting provides better protection from vertical impact but not parallel impact. Can be installed in conjunction with engineered wood fiber. Accessibility of wood fiber is currently being challenged. Playground area 5,630 SF
13	Play Equipment Upgrade	Medium	X		X	X		\$60,000 - \$100,000	Install new play equipment. Themed, imaginative, sensory, creative, accessible and non-traditional post & platform.
14	Perimeter Fencing	Short	X				X	\$35,000 (Full coverage of existing area)	Install minimum 36' high fence around playground perimeter. Entries to be provided at parking lot, restroom, and at east turf mound. 390 LF of fencing.
	Community Gardens	Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
15	Security Improvements	Short	X				X	\$850.00	Provide self closing gate with dual sided keypad at entrance. To be coordinated with garden users.
16A	Plot Improvements	As Needed	X				X	\$6,000	As needed replacement of redwood header boards separating plots.
16B	Plot Improvements	Long	X				X	\$15,000	Replacement of redwood header boards with concrete curb or other permanent material.

Dog Park		Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
17A	Additional Shade	Short	X				X	\$120 - \$300 (Per Tree)	Install additional trees. Over-excavate due to subsurface surcharge.
17B	Additional Shade	Medium	X			X		\$29,000	Install wood ore prefabricated steel arbor to provide shade to both large and small dog areas. Provide benches & tables.
18	Perimeter Fencing Improvements	Short					X	\$5,500	Low barrier at fencing around perimeter to contain bark mulch from migrating off site. Assumes ~822/LF of steel header
BBQ Picnic Area		Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
19	Additional Shade	Short		X			X	\$120 - \$300 (Per Tree)	Plant additional trees to shade picnic areas 25-28 and 1-4.
20	Raised Planter Improvements	Medium		X			X	\$2,000	Upgrade existing irrigation planters and install new planting.
Sports Fields		Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
21A	Grading & Drainage - Short term	Short		X	X		X	\$35,000	Focused on localized settlement on as needed basis. Install structural geogrid & drainage system in prone areas. ADA compliance for flatwork. Drainage system assumes underground perf pipe wrapped in sand/filter fabric
21B	Grading & Drainage - Long term	Long		X	X	X		\$4,000,000	Full excavation. Install aggregate sub base, engineered fill, structural geogrid, and new irrigation. Geotech report & further study required. Approximately 419,100 SF.
22A	Restroom at Soccer field (portable)	Short	X	X		X		\$4,000	Use of portable units during large events. Construction of a screen and secure anchoring system for the units. Location to be reviewed.
22B	Restroom at Soccer field with Sports Storage Room & Drinking Fountain (permanent)	Medium				X		\$175,000 - \$225,000	Installation of single user restroom near soccer & cricket fields. Include storage room and drinking fountain. Further study on utility requirements & subgrade stability.
23	Softball Upgrades	Medium	X	X	X	X		\$5,000 - \$10,000	Installation of roof for sun protection with expansion for more equipment.
24	Marsh Protection Fencing at Cricket Field	short	X				X	\$6,250	Low fencing barrier along eastern edge of marsh. Protection to prevent cricket balls and people from entering sensitive habitat. Assumes 9 gauge WWM fencing and wood posts
25	Marsh Protection Barrier at Artificial Turf Field	Short		X			X	\$2,500	Install barrier along northwestern edge of artificial turf field to prevent rubber pellet migration into wetlands.
26	Artificial Turf Replacement	Medium		X	X	X		\$250,000 - \$300,000	Artificial turf has 10+/- year lifespan. Heavy usage on existing fields may warrant early replacement or repair. Cost assumes carpet replacement only and does not include changes or improvements to drainage system.
27	Artificial Turf Field - Ball Netting	Short	X	X		X		\$6,000	Netting to be installed on northern side to prevent soccer balls from landing in adjacent dog park.
New Program Elements		Timeframe	User Funded	Fee Funded	Grant Funded	Installed by Contractor	Installed by City	Estimated Cost	Notes
28	Bocce Court	Medium	X	X		X		\$15,000 (one court)	Was included, but not implemented in the 1997 Master Plan. Install 1 new bocce ball court north of the picnic area.
29	Outdoor Exercise Equipment	Medium			X	X		\$6,000 to \$24,000	Costs varies according to of equipment installed

The recommendations above have been generated through the following sources:

- Intercept surveys & interviews conducted at Piper Park
- Focus group meetings
- Park Commissions Meetings
- Data and site analysis
- City of Larspur Parks & Recreation staff
- City of Larspur Public Works staff
- Royston Hanamoto Alley & Abey

Piper Park

Continued Discussion

During the Master Plan process, three areas of discussion were raised that require further study. Those topics include:

SPORTS FIELD LIGHTING

The topic of sports field lighting is not included in this report, nor recommendations provided, as it requires further study. Currently, Piper Park does not contain any sports field lighting. Conduits for future sports lights were included when the artificial turf field was installed. At the time of this Master Plan report, there is continued debate regarding the inclusion of any future field lighting.

CEQA (the California Environmental Quality Act) statutes require State and local agencies within California to inform governmental decision makers and the public about the potential significant environmental impacts of proposed activities. CEQA applies to projects undertaken, funded, or requiring an issuance of a permit by a public agency. The Larkspur Planning Director and City Attorney have concluded that sports field lighting at Piper Park would not fall within the CEQA categorical exemptions and therefore would require an EIR (Environmental Impact Report).

This master plan report does not make any determined recommendation on sports field lighting. A separate in depth study is necessary to determine if sports field lighting is appropriate for Piper Park. Continued outreach efforts with local community and sports user groups are necessary to reach a successful conclusion.

PEDESTRIAN BRIDGE

There is no easy pedestrian connection between the area of Larkspur north of Corte Madera Creek and the area south which includes Piper Park. A pedestrian bridge connection should be further explored as a potential park access opportunity. It should be noted that such an undertaking would require extensive review and permits through multiple agencies, at Federal, State and local level. An EIR (Environmental Impact Report) would be required for such a project.

DOCK

The existing wood dock that extends into the Corte Madera Creek does not meet current ADA accessible standards. Upgrades to bring the dock into ADA compliance should be considered in the future. A dock ramp would need to be designed to adjust to the tidal fluctuations of the bay, and meet accessible ramp codes at both high and low tides. Due to the large change in water elevations, the ramp would be quite long and expensive. Another option would be to remove the dock entirely.



Piper Park Funding

Funding

This section provides future grant sources, granting foundations and other fund-raising options related to Piper Park and is broken down into the following sub-sections:

Fund-Raising, Social Media, Community Outreach and Private Donations
Project Preparation for Applications (Community Input, Sustainable Design and CEQA/NEPA Compliance, CCC)
Grant and Funding Opportunities
Additional Funding Sources
Additional Resources

Those seeking funding for park renovation must be diligent and persistent in seeking out and competing for grant and foundation funds. Despite the variety of federal, state, local and private funding sources, historically and for the foreseeable future, there are more projects than funding available. Typically most granting agencies have annual cycles. Since deadlines can be extended and funding renewed, these identified sources should be reviewed on a regular basis for updated information.

Fund-Raising, Social Media, Community Outreach and Private Donations:

Creating awareness of any potential project will be critical in raising private donations and having a successful fund-raising campaign. It is expected that a slogan for any Piper Park project would be a highly effective marketing tool. Creating a clear and concise message for potential donors and partners will be critical for ongoing donation requests.

A web-site exclusively for Piper Park could also be developed as a fund-raising tool. To aid in any identified future project fund-raising, additional information could be added to this page. Creating a compelling story, including the historical uses of the site along with the project funding need, would immediately reach all patrons searching for additional information on the project. A "Donate Now" button on the web-site will also allow for residents and park patrons to give money immediately to the project.

Several options are available to create a "Donate Now" button. Network for the Good (www.support.networkforgood.org), is a national non-profit that provides tools for online fund-raising. Instant donations and up-to-date donation tracking information is all available immediately with just one click. This is a good option for project specific fund-raising, as it eliminates questions of where donations will be going or how much funding has been raised.

The utilization of free and popular social media platforms in conjunction with a project web-site, is recommended. Keeping the public informed is critical in raising awareness and making a successful fundraising campaign. Facebook is currently one of the most popular social media platforms and are already used by the city. Social media platforms will organically spread the awareness of the funding need for the project. These platforms are also great for keeping residents informed of construction schedules and other project updates.

Project Preparation for Applications (Community Input, Sustainable Design and CEQA/NEPA Compliance, CCC)

Recently, the California Office of Grants and Local Services (OGALS) created new guidelines for many of the grants in which they administer. New guidelines focus on project readiness, sustainable design and community involvement. Nearly all State funding is requiring projects to focus on green or sustainable building. Incorporating green elements where possible will help prepare the project to be competitive for future funding. In addition, there are other funding opportunities to promote green building

Funding

that can be explored more fully as the project scope is further developed.

Community input is also very important for successful grant writing. It is recommended that at least five community meetings take place for any project within the park. This way the project will meet the minimum requirements of several OGALS grant guidelines. Community input may be in the form of a meeting dedicated to the project, presentations to local boards or informational booths at local community events. The Master Plan process can be used to meet the requirement for five meetings.

Additional key elements to prepare for applications include:

- CEQA or NEPA compliance. Preparation of these documents will show project readiness and are required for State and Federal applications
- Raising at least a portion of the project costs with local sources. This will demonstrate community commitment and will provide a source of matching funds
- Incorporation of the California Conservation Corps (CCC) with the project. In many cases grants will award more points for projects that work in conjunction with the CCC or the local chapter of the CCC (Conservation Corps North Bay). Having a letter of commitment from the local CCC office will ensure these points will be awarded.
- Grants.gov is used by several granting agencies. If the City is unfamiliar with the Grants.gov application process, it is highly recommended that a DUNS number is requested and a project administrator is assigned. These processes may take several weeks and will help with the application process.
- Partnerships with local non-profits are also looked upon favorably by several of the granting agencies. Establishing these partnerships early on will demonstrate project readiness, community commitment and additional support.

Grant and Funding Opportunities

California Youth Soccer and Recreation Development Grant

Intended for the acquisition or development of land and/or facilities to improve the communities access and use for youth soccer, baseball, softball and basketball opportunities. This is not a matching program, but those communities willing to match funds will be more competitive in the selection process.

<http://www.parks.ca.gov/grants>

Cal Ripken Sr. Foundation Grants

The Cal Ripken, Sr. Foundation provides a variety of grants to community groups and schools that meet their eligibility requirements, in order to support the growth of youth baseball and softball, as well as promote character growth in children. Please visit the title link for information about the grants and downloadable applications.

<http://www.ripkenfoundation.org/grants/grant/>

Baseball Tomorrow Fund

The Baseball Tomorrow Fund is intended to provide funding for incremental programming and facilities for youth baseball and softball programs, not as a substitute for existing funding or fund-raising activities. Baseball Tomorrow Fund generally considers projects that include capital expenditures for youth baseball and softball programs such as baseball/softball equipment and uniforms, basic baseball/softball field renovations and construction (e.g. infield mix, sod/seeding, bases, dugouts, fencing, field lighting, irrigation system, grading, etc.)

http://mlb.mlb.com/mlb/official_info/community/btf.jsp?content=about

Nature Education Facilities Program

The NEF will fund projects for development of nature education facilities, buildings, structures and exhibit galleries that present collections to inspire and educate the public and for marine wildlife conservation

Funding

research equipment and facilities. This grant was offered in 2010. It has not been determined whether it will be available in future years.

http://www.parks.ca.gov/?Page_id=26026

American Academy of Dermatology- Shade Structure Grant Program

The American Academy of Dermatology offers a Shade Structure Grant program with grants of \$8,000 each to fund permanent outdoor shade structures designed to provide shade and ultraviolet ray protection. The program awards grants on an annual basis.

<http://www.aad.org/public/sun/grants.html>

KaBOOM! Community Partnership Grants

KaBM! is a national non-profit that envisions a place for children to play within walking distance to local residences in North America.

<http://www.kaboom.org/>

Lowe's Charitable and Educational Foundation

Support for education and community improvement: Lowe's Charitable and Educational Foundation awards more than \$1.5 million annually to individuals and organizations across the United States. Founded in 1957, the Foundation's primary philanthropic focus areas include community improvement projects, education scholarships for trade disciplines and environmental initiatives that enhance the natural environment.

<http://www.lowes.com/lowes/lkn?action=pg&p>AboutLoves/Community>

Urban Park and Recreation Recovery (UPARR)

Since 1978, the UPARR program awarded nearly \$272 million for 1,461 grants to 380 local jurisdictions in 43 States, the District of Columbia and Puerto Rico. UPARR grants provided recreation opportunities for all ages, all ethnic groups, and people with and without disabilities, senior citizens to at-risk youth, latch-key children, and young adults.

Types of recreation facilities rehabilitated through the UPARR program include:

playgrounds - recreation centers - ball fields - neighborhood parks
picnic areas - tennis courts & basketball courts - hike/bike/exercise trail

http://www.nps.gov/ncrc/programs/uprr/program_inbrief.html

Tire-Derived Product Grant Program

The California Department of Resources Recycling and Recovery (CalRecycle) offers the Tire-Derived Product (TDP) Grant Program to promote markets for recycled-content products derived from waste tires generated in California and decrease the adverse environmental impacts created by unlawful disposal and stockpiling of waste tires. Only one application per qualifying entity will be accepted. Eligible applicants include public entities which include: California cities, counties, public school districts, public colleges and universities, special districts, park districts, public recreational facilities, and state agencies (including offices, departments, bureaus, and boards).

<http://www.calrecycle.ca.gov/Tires/Grants/Product/>

Land and Water Conservation Fund

The purposes of the LWCF program is to assist in preserving, developing and assuring accessibility to all citizens of the United States of America of present and future generations a quality and quantity of outdoor recreation resources. LWCF funds can be used for acquisition or development. This source could likely be used for interpretative signage about the Marsh and possibly for dock improvements.

Applicants may not begin construction until a grant contract is fully executed. Projects will not be considered for funding if:

- The time line indicates that the project is not likely to be completed within the contract perfor

mance period and/or the applicant does not demonstrate that they, or their Project manager(s), are capable of completing the project within the contract performance period.

There is no minimum or maximum limit on grant request amounts, however it should be noted that in the 2010 cycle of funding there was only about \$700,000 available for all of northern California.

- 50% match is required
- In 2010, \$1,740,430 in funding was available, split 60% for southern California and 40% for northern California. Funding amounts for 2011 have not been announced.

Ineligible Projects include, but are not limited to the following:

- Combination acquisition and development projects
- Interpretive facilities which go beyond interpreting the project site and its immediate surrounding area
- Convention facilities
- Commemorative exhibits and monuments
- Facilities marginally related to outdoor recreation
- Indoor facilities such as community centers and gymnasiums
- Facilities used primarily for spectator sports
- Acquisition, restoration or preservation of historic structures
- Employee residences

It should be noted, that all projects funded by the LWCF must be retained in perpetuity for public outdoor recreational use (Public Law 88-578, 16 U.S.C. 4601-6(f)(3)). At this time funding for the LWCF is limited however it is anticipated that new legislation will be signed and additional funding will be made available in the coming funding cycles.

Application guide available at:

http://www.parks.ca.gov/pages/1008/files/lwcf_app_guide_5-2010_draft.pdf

Habitat Conservation Fund

- There is no maximum or minimum grant request amount limit.
- There is a required non-state dollar-for-dollar match.

The Habitat Conservation Fund (HCF) Program allocates approximately \$2 million per year to the California Department of Parks and Recreation for grants to cities, counties, and districts to provide for nature interpretation and other non-capital outlay programs which bring urban residents into park and wildlife areas, to protect fish, wildlife and native plant resources or to acquire or develop wildlife corridors and trails. This grant would apply to marsh restoration for Piper Park.

The HCF identifies seven categories that are eligible for funding. Applicants will need to refer to these guides in preparing their application. In addition, the Grant Administration Guide is available for additional information if funding is received.

- Deer/Mountain Lion Habitat (not applicable)
- Rare, Endangered, Threatened or Fully Protected Species Habitat
- Wetlands - http://www.parks.ca.gov/pages/1008/files/hcf_wetlands_guide-2010.pdf
- Anadromous Salmonids and Trout Habitat - http://www.parks.ca.gov/pages/1008/files/hcf_anadromous_guide-2010.pdf
- Riparian Habitat - http://www.parks.ca.gov/pages/1008/files/hcf_riparian_guide-2010.pdf
- Trails - http://www.parks.ca.gov/pages/1008/files/hcf_trails_guide-2010.pdf
- Wildlife Area Activities - http://www.parks.ca.gov/pages/1008/files/hcf_wildlife_guide-2010.pdf

Funding

Grant Administration Guide - http://www.parks.ca.gov/pages/1008/files/HCF_Grant_Admin_Guide-2010.pdf

Integrated Regional Water Management (IRWM) Grant program

- 25% match required

The IRWM Grant Program is designed to encourage integrated regional management of water resources and provide funding for projects that support integrated water management planning and implementation. This PSP works in conjunction with the IRWM Program Guidelines to disburse this first round of implementation grant funding under the Safe Drinking Water, Water Quality and Supply, Flood Control, River and Coastal Protection Bond Act 2006 (Proposition 84). Focus is on storm water management projects outside of the state plan of flood control that reduce flood damage.

Application guide available at:

http://www.water.ca.gov/irwm/docs/ImplementationGrants/Prop84_Round1/Imp_PSP_Final_07_20_10.pdf

Additional Resources and Potential Partners

Parks and Recreation Funding in California (Trust for Public Land)

This article is a good overview of the local, state and federal opportunities for funding related to parks and open space. Additional articles are linked within the document.

Additional information available at:

http://www.tpl.org/content_documents/hphc/hphc_ParksRecreationFundingCA.pdf

MOST is helping save more than 15,000 acres of critical open space area in Marin. Many parts of Marin are protected only by regulatory control, which can change over time. Many key parcels are in private hands and are available for purchase from time to time, and until MOST was formed, Marin has lacked a private non-profit land trust set up to fund the purchase of such key open space. Unclear if they have funding available for projects or just acquisition.

Additional information available at:

<http://marinopenspacetrust.org/index.php>

California State Parks Department

The State of California offers many opportunities for park and trail funding through grants on a yearly basis, however these change based on adopted yearly State budgets.

http://www.parks.ca.gov/?page_id=1008

The Foundation Center

Established in 1956 and today supported by close to 550 foundations, the Foundation Center is a national nonprofit service organization recognized as the nation's leading authority on organized philanthropy, connecting nonprofits and the grantmakers supporting them to tools they can use and information they can trust. Its audiences include grantseekers, grantmakers, researchers, policymakers, the media, and the general public. The Center maintains the most comprehensive database on U.S. grantmakers and their grants; issues a wide variety of print, electronic, and online information resources; conducts and publishes research on trends in foundation growth, giving, and practice; and offers an array of free and affordable educational programs.

Additional information available at: <http://foundationcenter.org/>

INTEGRATED PEST MANAGEMENT (IPM)

Integrated Pest Management (IPM) is an environmentally sensitive method used for pest management. IPM focuses on the specifics of individual pests, identifying their species and life-cycles as well as the potential environmental impact of any treatment, whether chemical or non-chemical. Treatments which are most economical and least hazardous to people, property and the environment are selected to best manage and control pest issues.

The goal of BMP's for stormwater is to reduce or eliminate contaminants collected in stormwater runoff from entering natural waterways. Examples of such methods of BMP's include: bio-retention areas, detention ponds, filter strips, bioswales, natural vegetation, infiltration planters, pervious pavement and wetlands.

EVAPOTRANSPIRATION

Evapotranspiration is the movement of water from soil and vegetation to the air. Essentially it is the sum of evaporation and plant transpiration. As related to irrigation, evapotranspiration is monitored based on weather and precipitation to deliver the correct amount of water to support a healthy landscape.

ACTIVE PARK AREA

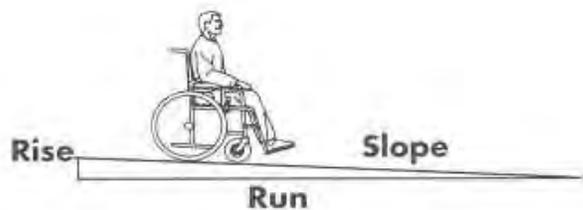
Areas set aside or programmed for specific uses or facilities. These areas often involve cooperative or team activities and can include an athletic field, community garden, children's play area, dog park, volleyball court, tennis court or restroom building. A good active area will provide a flexible space that can accommodate a range of activities without disturbing adjacent areas.

PASSIVE PARK AREA

Areas that are not designated or programmed for a specific use or facility. These spaces are associated with park open space and can include a landscaped area, natural area, water body or walking path. The activities that occur in these areas are not dependent on a delineated space or specific design.

LONGITUDINAL SLOPE

Longitudinal slope is the direction for the path of travel. With regard to ADA compliance, longitudinal slopes between 5% and 8.33% are considered ramps and must meet specific requirements. Ramps may not exceed 2% cross-slopes. See diagram below for example:



CROSS SLOPE

Cross slope is a critical measurement considered in ADA accessibility compliance and is not to exceed 2% for a identified path of travel. See diagram below for example:





Park Use Permit



City of Larkspur Parks & Recreation Department
240 Doherty Drive, Larkspur, CA 94939
(415) 927-6746 Fax (415) 927-6758

USE PERMIT FOR PARKS AND RECREATIONAL ACTIVITIES

Organization/Event: _____

Will Outside Vendors be used? (circle one) **No** **Yes** **If "Yes", please consult rule #'s 3 - 6.**

Your Name: _____ Day Phone: _____
Mailing _____
Address: _____ Hm/Fax#: _____
Date(s) of _____ # of _____
Use: _____ Attendees: _____

Facilities Requested	Time of Day Requested	Security Deposit	Fee
Softball Field #	until	None	
Soccer/Cricket/Field Hockey	until	None	
Volleyball Court #	until	None	
BBQ Table #(s)	All Day Use		
Bounce House Space	All Day Use	None	None
Other			
		TOTAL DEPOSIT DUE:	
		TOTAL RENTAL DUE:	

As an applicant for use of the City of Larkspur Facilities, I hereby agree to assume all risks for loss, damage, liability, injury cost or expense that may arise during or be caused in any way by use of a facility of the City of Larkspur. I further agree that in consideration of being permitted to use said facility, I will save and hold the City of Larkspur and its officials and employees free and harmless from any loss, claim liability, damages and/or injuries to persons and property occurring during applicant's use of said facilities.

I agree to observe the rights of other park users. When using the soccer and other sports fields, I agree that participants and spectators will use the perimeter path while walking to and from the outer fields and that participants and spectators will stand on the North side of the field when softball games are in progress.

PAYMENT/CANCELLATION POLICY: A deposit check will hold my reservation. Full payment is due to the Larkspur Recreation Department 30 days prior to the date of my event. Cancellation may be made up to 30 days prior to the event date, but a processing fee may be charged. If my event is rained out, I may either reschedule my event or request a full refund.

Signed: _____ **Date:** _____

Amount	Date Rec'd	Date Refunded
Deposit: _____	_____	_____
Rental Fee: _____	_____	
Approved by: _____	_____	

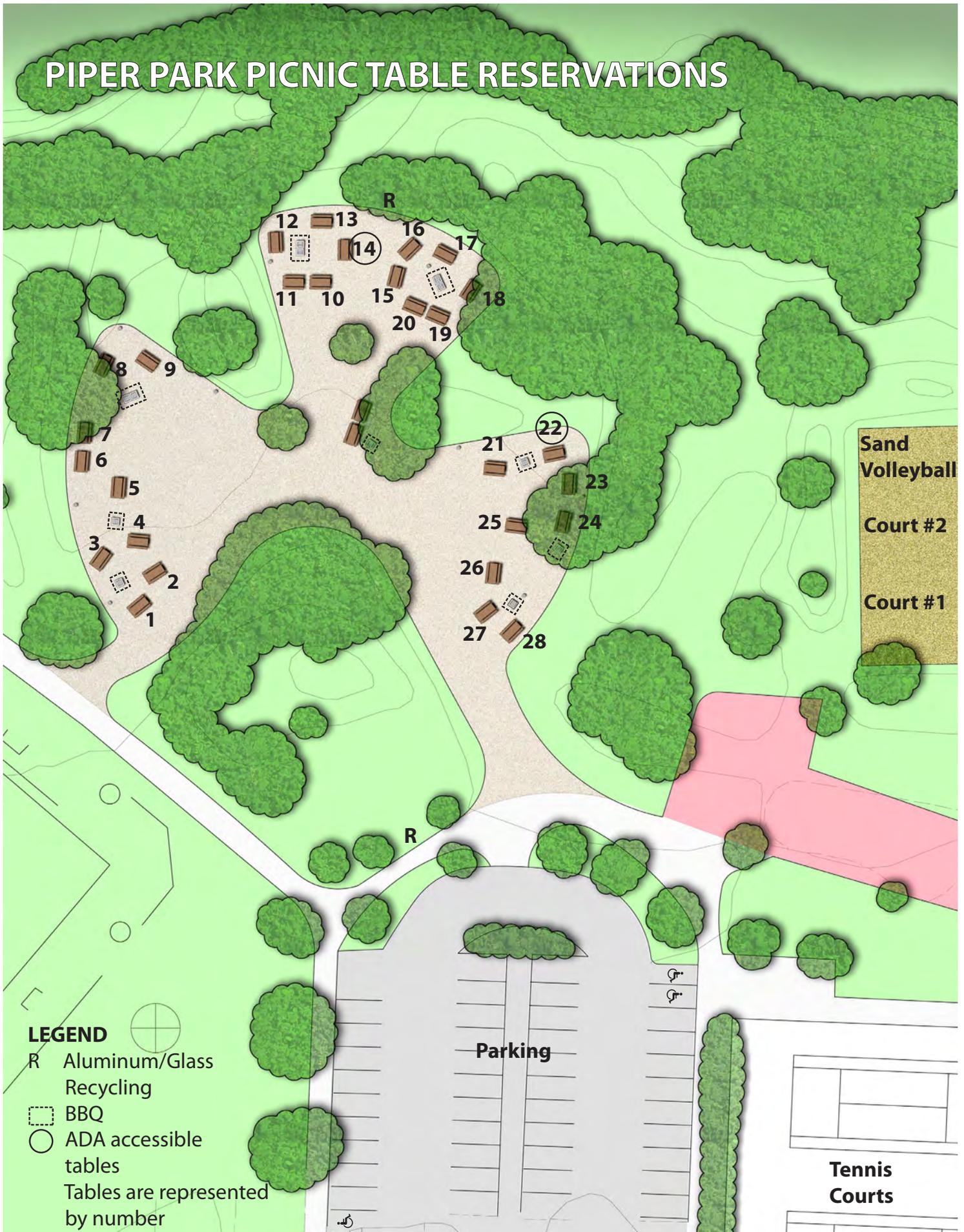
Comments: _____



Picnic Reservation



PIPER PARK PICNIC TABLE RESERVATIONS



LEGEND

R Aluminum/Glass Recycling

□ BBQ

○ ADA accessible tables

Tables are represented by number

Parking

Tennis Courts



Reservation Fee Schedule



**LARKSPUR PARKS AND RECREATION DEPARTMENT
RESERVATION FEE SCHEDULE AS OF 4/5/09
PIPER PARK**

<u>GRASS SPORTS FIELDS:</u> (Softball, Soccer, etc...)	\$40.00 / hour (Adult) \$35.00 / hour (Youth)
<u>SYNTHETIC FIELD:</u>	\$65.00 / hour (All)
<u>VOLLEYBALL:</u> Sand Courts	\$26.00 / hour \$75.00 / All Day
<u>PICNIC TABLES / BBQ's:</u>	\$35.00 per table (all day use) \$50.00 security deposit
<u>ENTIRE PICNIC AREA:</u> Seats approximately 280 persons. Grounds have 30 picnic tables, 2 of which are ADA accessible Also includes 12 BBQ's	\$680.00 per day (all day use) \$200.00 security deposit

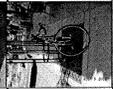


Bike Rack Plan

CITY OF LARKSPUR
BIKE RACK PLAN

SITE No	DPW PHOTO No.	CINDY'S SKETCH No.	LOCATION	DESCRIPTION	PHOTO	No. of BIKE RACKS REQUIRED		ESTIMATED GRANT	ESTIMATED MATERIAL COST(S)	INSTALLATION COST(S)			TOTAL ESTIMATED COST(S)	ESTIMATED TOTAL TO BE FUNDED BY CITY(S)	COMMENTS
						BOLTED TO SURFACE	IN GROUND			ESTIMATED COST OF MATERIALS (\$)	ESTIMATED COST OF LABOR (\$)	ESTIMATED TOTAL COST OF LABOR (\$)			
1	9	1	Piper Park, adjoins walkway by playing fields, near DPW office.	Generous clearances due to unimpeded space.			4	\$900.00	\$540.00	\$325.00	\$1,420.00	\$1,745.00	\$2,285.00	\$1,385.00	
2	10	2	Piper Park	Near extensive picnic area. Diagram #1: More than 5 racks possible. Diagram #2: Design limited to 5 racks.			4	\$900.00	\$540.00	\$325.00	\$1,420.00	\$1,745.00	\$2,285.00	\$1,385.00	
3	11		Piper Park, east end of tennis courts	This area presents a conundrum: How to meet County specs and design a pad that presents a neat shape? Obstacles include a tree and its roots, sign post, irregular space, drain outlet hidden by grass.		1		\$225.00	\$173.00	\$81.25	\$355.00	\$436.25	\$609.25	\$384.25	
4	12	4	Library	Remove current rack and one bench (see #15 below). Ask County for 4 racks, 3 only may be approved due to space limits. Cw will donate purchase cost of racks above County's share. Color/dimensions may vary from other Larkspur rack purchases (?).				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II; ADA issues
5	13	6	City Hall, parking area in back	Perpendicular to planter			1	\$225.00	\$135.00	\$162.50	\$710.00	\$872.50	\$1,007.50	\$782.50	
6	14	7	City Hall, parking area in back	A second rack could be added, but that would require relocating four trash bins instead of only two.		2		\$450.00	\$0.00	\$162.50	\$710.00	\$872.50	\$872.50	\$422.50	
8	15	9 TO 17	City Hall porch	Suggest bench on porch to free space for new library racks and to shield wi-fi users from rain. Only one side can be used? One side has letter box and alc, both protruding. On the "free" side, difficult to combine bench and bike rack.				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II
9	16	18	City Hall, sidewalk on Magnolia	Two racks fit nicely here		2		\$450.00	\$346.00	\$162.50	\$710.00	\$872.50	\$1,210.50	\$768.50	
10	17		Magnolia, south of Cane	Location in front of salon. Was it decided an inappropriate placement due to nature of businesses? However, I saw a bicycle locked to the rail of the adjacent dental office.								\$0.00	\$0.00	\$0.00	PHASE II

CITY OF LARKSPUR
BIKE RACK PLAN

SITE No	DPW PHOTO No.	CINDY'S SKETCH No.	LOCATION	DESCRIPTION	PHOTO	No. OF BIKE RACKS REQUIRED		ESTIMATED GRANT	ESTIMATED MATERIAL COST(S)	INSTALLATION COST(S)			TOTAL ESTIMATED COST(S)	ESTIMATED TOTAL TO BE FUNDED BY CITY(S)	COMMENTS
						BOLTED TO SURFACE	IN GROUND			ESTIMATED COST OF MATERIALS (\$)	ESTIMATED COST OF LABOR (\$)	ESTIMATED TOTAL COST OF LABOR (\$)			
12	18	19	Magnolia, outside Silver P-eso	Two racks fit well. Would serve patrons of Rullif's?		2		\$450.00	\$346.00	\$162.50	\$710.00	\$872.50	\$1,218.50	\$768.50	
13	19		Tree shield, Rullif's	Example of new tree protector used as bike rack.			\$0.00					\$0.00	\$0.00	\$0.00	PHASE II
14	20		Rullif's	Sign: "Do not lean bikes against glass."			\$0.00					\$0.00	\$0.00	\$0.00	PHASE II
15	21	20	Magnolia, Bank of the West	Good location for three racks		2	\$450.00	\$346.00	\$162.50	\$710.00	\$872.50	\$1,218.50	\$768.50		
16	22		Magnolia, bus stop by Nicolette and Coquelicot	Photo was taken to show that the red curb is a bus stop, ruling out racks at this location.			\$0.00					\$0.00	\$0.00	\$0.00	PHASE II
17	23	21	Ward, adjoining public parking	2 racks with careful placement			\$0.00					\$0.00	\$0.00	\$0.00	PHASE II
18	24	22	Ward/Magnolia bus stop N-bound	N side of structure. Remove rock to make space for a pad holding 2 racks?			\$0.00					\$0.00	\$0.00	\$0.00	
19	25	23	Ward/Magnolia bus stop N-bound	S side of structure. To place racks here would require destroying bench extension and plants. Priority to N side of structure?			\$0.00					\$0.00	\$0.00	\$0.00	PHASE II
20	26	24	Magnolia, Public Parking lot	This large barren area is to be landscaped. Would permit up to 9 racks.		9	\$2,025.00	\$1,215.00	\$733.50	\$3,195.00	\$3,928.50	\$5,143.50	\$3,118.50		
21	27	25	Magnolia, opposite theater	Four racks fit nicely		4	\$900.00	\$692.00	\$325.00	\$1,420.00	\$1,745.00	\$2,437.00	\$1,537.00		

CITY OF LARKSPUR
BIKE RACK PLAN

SITE No	DPW PHOTO No.	CINDY'S SKETCH No.	LOCATION	DESCRIPTION	PHOTO	No. OF BIKE RACKS REQUIRED		ESTIMATED GRANT	ESTIMATED MATERIAL COST(\$)	INSTALLATION COST(S)			TOTAL ESTIMATED COST(\$)	ESTIMATED TOTAL TO BE FUNDED BY CITY(\$)	COMMENTS
						BOLTED TO SURFACE	IN GROUND			ESTIMATED COST OF MATERIALS (\$)	ESTIMATED COST OF LABOR (\$)	ESTIMATED TOTAL COST OF LABOR (\$)			
22	28	28	Lark Theater, new parking area, recent schematic	Whether 2 or 4 racks depends on whether or not there's a tree in the middle of the bike parking space.		2		\$450.00	\$346.00	\$162.50	\$710.00	\$872.50	\$1,218.50	\$768.50	
23	29	26	Lark Theater, new "bulb" area, recent schematic	2 racks or 3? A judgement call.				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II
24	30		599 Magnolia south of theater	Space too short for sitting per County specs; rack footprint would extend into non-red curb area.				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II
25	31	30	Ward, outside Left Bank	One rack fits, but would it interfere with disabled use of sidewalk, which is narrow due to extended patio.				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II
26	32		Magnolia/Ward, bus stop	Another view of Photo #22				\$0.00				\$0.00	\$0.00	\$0.00	PHASE II
27	33	31	Sidewalk, entrance to Donut Alley	Adequate space for one rack, if trash container is moved approx. 3 feet.		1		\$225.00	\$173.00	\$81.25	\$355.00	\$436.25	\$609.25	\$384.25	
28	34	32	St. Patrick's Thrift Shop	One rack where shown. Insufficient space for another rack south of tree, due to PG&E plate and lamp post.		1		\$225.00	\$173.00	\$81.25	\$355.00	\$436.25	\$609.25	\$384.25	
TOTAL						17	18	\$7,875.00	\$5,025.00	\$2,927.25	\$12,780.00	\$15,707.25	\$20,732.25	\$12,857.25	



Pest Management Policy

CITY OF LARKSPUR
PEST MANAGEMENT POLICY

Resolution No. 40/04

Background and Policy Statement

It is the policy of the City of Larkspur to utilize a system of pest abatement that prioritizes non-chemical or cultural practices over the use of chemical pesticides. These practices began in the 1960's, but have become more popular in the past decade due to advances in technology and greater awareness of the harm that certain chemicals pose to humans and animals. Pesticides include herbicides, rodenticides, insecticides, fungicides and molluscicides.

The City has used and will continue to utilize a system of pest abatement that prioritizes non-chemical or cultural practices over the use of chemical pesticides. The primary goal of pest management is prevention. The prevailing approach focuses on long term pest prevention giving non-chemical methods first consideration when selecting appropriate control techniques. The full range of alternatives are considered, including physical, horticultural and biological methods of pest control, using synthetic chemicals sparingly and using those chemicals that pose the least possible hazard to people and the environment.

This approach has been implemented by other public agencies surrounding and including the City of Larkspur including: MMWD, County Parks and Open Space, Tamalpais Union H.S. District, Larkspur School District, Kentfield School District and the Town of Corte Madera.

Furthermore, it is the policy of the City of Larkspur to minimize the use of pesticides in all indoor and outdoor areas maintained by the City. If application of a pesticide on City property has been determined to be necessary, the City will use the least toxic product or process available at the time, taking into consideration the City's staffing and budgetary constraints.

The Marin County Department of Health and Human Services, the Marin County Agriculture Department, the Marin/Sonoma Mosquito and Vector Control District and the Marin County Storm Water Pollution Prevention Program (MCSTOPPP) are key entities by which the City is advised regarding and pesticide use. The City participates in regional efforts designed to encourage the reduction of pesticide use by residents, particularly in an effort to prevent and reduce the addition of pollutants into the watershed.

The City currently operates within State and Federal law with regard to the application of pesticides on City property. At the present time, the City is using small amounts of chemical herbicides and fertilizers that contain herbicides on the City's parkland/grass

areas. On a site-specific basis, and only upon determination of an infestation, the City has periodically utilized bait or other approved pesticides to control vermin and dangerous insects.

Policy Implementation

The following actions and activities will be taken to implement the City's pest management policy.

1. Designation of Coordinator

The City's Public Works Superintendent, under the supervision of the Public Works Director, is responsible for overall implementation, management and coordination of the City's pest management policy.

2. Pest Management Practices

- a. The City will only use products legally allowable by State and/or Federal law, and only under the conditions specified. The City will abide by the product usage guidelines indicated in Attachment A to this policy.
- b. The persons applying the products will have been trained in the proper application of the product. The City Coordinator is responsible for designating persons, employees or contractors, who may transport and/ or apply pesticides. Annually, these persons shall receive and review the City's Pest Management Policy and acknowledge in writing that they have read the policy and agree to follow the guidelines and intent of the policy. The Coordinator, City employees and contractors with which the City has service agreements will attend continuing education to maintain any necessary certifications required by law and to increase knowledge of current pest management practices.
- c. The products will be applied in accordance with the instructions for use, regulations and label precautions.
- d. The Coordinator will maintain written records of the application of the products by the City and/or by the contractor or agency whose employees have applied the products. These written records will include copies of signage posted pursuant to subsection (f) below. These records will be maintained in City offices, and will be made available for public review during normal business hours.
- e. No application of pesticides will be allowed in the proximity of children's play areas, eating areas, in the community garden or in publicly maintained streetscape areas in residential neighborhoods.

- f. Once the City's coordinator has determined that application of a pesticide is necessary, signage will be posted in the immediate area of the application as follows:
1. At a minimum of 72 hours in advance of a pesticide application, signage will be posted at the site indicating the date and time of application, description of area to be treated, the identity of the pesticide by brand or common chemical name; precautions to be observed as printed on the pesticide product label, a notification phone number for questions and the date of posting. The signage will remain in place for at least 72 hours post application. The Coordinator will use his/her discretion in making sure the signage is noticeable to people using, entering and leaving the City property.
 2. When possible, the area in which the pesticide will be applied will be fenced for 72 hours post application.
 3. The above signage requirements shall not apply to applications of Approved Use Products listed in Attachment A to this document.

3. Review of Policy and Practices

Biennially, in January of even numbered years, the Larkspur City Council will receive a written report regarding the prior two years' activities as provided for in the pest management policy. Council may use this opportunity to revise and/or update the policy. City staff may recommend changes to the policy and practices as needed.

CITY OF LARKSPUR
PEST MANAGEMENT POLICY

Attachment A to Resolution No. 40/04

PRODUCT USAGE GUIDELINES

Products used and not used by the City of Larkspur are separated into three categories: Approved Use, Limited Use and Not In Use products.

Approved Use Products

The Coordinator will maintain a list of all pesticides approved for use. This list shall be referred to as the Current Use Products List. The following pest management products are currently approved for use by the City of Larkspur:

1. Insecticide or rodenticide baits and traps;
2. Caulking agents and crack sealants;
3. Borates, silicates and diatomaceous earth;
4. Soap based products;
5. Natural products on the FIFRA's 25(b) list (40 CFR part 152.25(g)(1));
6. Cryogenics, electronic products, heat, and lights;
7. Biological controls, such as parasites and predators;
8. Microbial pesticides;
9. Insect growth regulators;
10. Physical barriers.

Landscape Management Techniques

In addition to the current use products indicated above, the City will utilize the following non-chemical turf and landscape management techniques when and where appropriate.

1. Proper timing and type of fertilizer applications;
2. Proper watering levels, e.g., adjusting water levels saves water costs and prevents pest infestations and, improper watering levels are a leading cause of pest infestations;
3. Aerification, e.g., a proper aerification schedule relieves soil compaction and promotes healthy soil;
4. Seeding; e.g., changes to current seeding timing or methods could lead to improvements;
5. Monitoring of and adjustment of cut-height levels for the grass areas of the park to maintain optimal conditions;
6. Composting;
7. Proper species selection, e.g., based on disease resistance, water use and other factors;
8. Anti-weed tarps in planted beds;

9. Mulching;
10. Monitoring, by maintaining records to track the health and general condition of various locations, including existence of pests; and
11. Establishment of pest thresholds for each area to allow an acceptable level of pests that do not significantly reduce the plant or turf health of the area.

Limited Use Products

On occasion, the Coordinator may need to use products other than those listed above to control pests. These products will be used for discrete events and in the smallest possible effective quantities. The Coordinator will maintain a list of the limited use pesticides, which at present include the following products: Round Up Pro, Turflon, Gallery, Confront and Mecomec. When limited use products are considered for application, the Coordinator will complete a "Limited Use Product Determination" form that encompasses the following criteria.

1. Identify the need to use the pesticide;
2. Document the potential alternatives to the particular pesticide, if any;
3. Make a determination that effective, economic alternatives to the particular pesticide do not exist for the particular use; and
4. Document by a checklist with comments the options reviewed and the determinations made regarding the limited use product.

A copy of the City's Limited Use Product Determination form is Attachment B to this policy.

Not In Use Products

The following products are not currently in use by the City of Larkspur and insofar as practical shall not be used by the City on City property in the future.

1. Pesticides linked to cancer (U.S. Environmental Protection Agency ("EPA"). Class A, B, and C carcinogens and chemicals known to the State of California to cause cancer under Proposition 65).
2. Pesticides that cause birth defects, reproductive or developmental harm (identified by the EPA or known to the State of California under Prop. 65 as reproductive or developmental toxins).
3. Pesticides that interfere with human hormones (identified by the EPA as known, probable or possible endocrine disrupters).
4. Pesticides classified as Toxicity Category I and II by the EPA as carbamate and organophosphate pesticides.
5. Foggers, bombs, fumigants or sprays that contain pesticides identified by the State of California as potentially hazardous to human health (CFR 6198.5).

CITY OF LARKSPUR
RESOLUTION NO. 40/04

A RESOLUTION OF THE LARKSPUR CITY COUNCIL ADOPTING PEST
MANAGEMENT POLICY FOR THE CITY OF LARKSPUR

WHEREAS, the City of Larkspur has determined it is appropriate to document its current practices and to establish policies regarding pest management on City property; and

WHEREAS, the policy for adoption is attached to this resolution, and may be altered periodically at Council's discretion; and

WHEREAS, the City staff have determined that this policy can be implemented immediately within the constraints of current staffing and funding as authorized by Council, and that no additional staffing or funding will be necessary within the current 2004-05 fiscal year to carry out the policy as described in the attachment.

NOW, THEREFORE, BE IT RESOLVED THAT this resolution was duly introduced and adopted at a regular Council meeting of the Larkspur City Council on the 20th day of October 2004 by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

MAYOR

ATTEST:

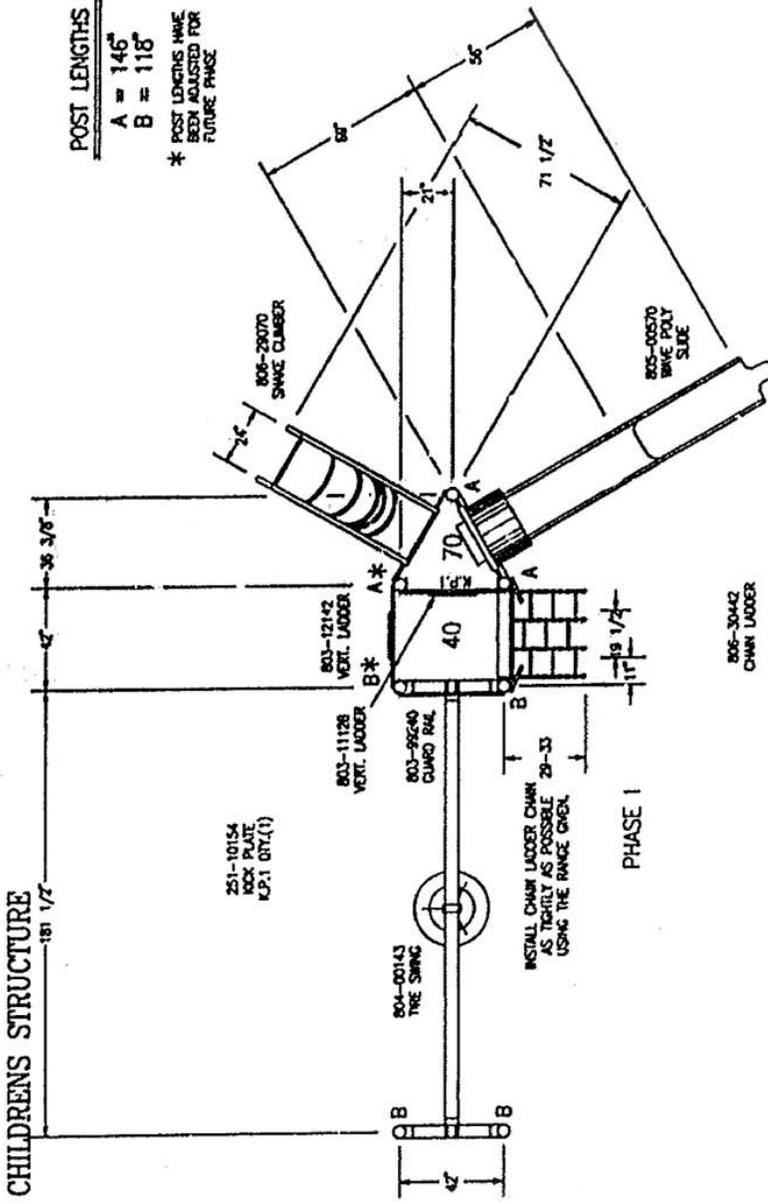
CITY CLERK

Playground Upgrade Quote

06-922435-A

PIPER PARK - OLDER CHILDRENS STRUCTURE

PLAYBOOSTER W/TENDERLOCKS
 LARKSPUR, CA
 JOB # 0930106114
 PRESS REC.
 1/17/93
 PO 26' x 17'
 40' x 31'
 ACTUAL SIZE
 AREA REQUIRED:
 SCALE: 1/4" = 12"
 PART A



POST LENGTHS
 A = 146"
 B = 118"
 * POST LENGTHS HAVE BEEN ADJUSTED FOR FUTURE PHASE

Do Not Scale Drawing
SAFETY NOTE
 PLAN CONSTRUCTION MUST BE COMPLETED ONCE ALL COMPONENTS ARE INSTALLED

MANUFACTURERS OF CREATIVE EQUIPMENT FOR CHILDREN
 ROUTE 3, 801 7th St, South Dakota, Minnesota 55528 (612) 772-3391 TOLL FREE: 1-800-778-0029 FAX: (612) 772-3185

NOTE: ALL CLAMPS ON THIS PLAYSTRUCTURE ARE TO BE BLUE UNLESS OTHERWISE NOTED BY THE INDIVIDUAL COMPONENT.

CONCRETE FOOTINGS REQUIRED ON ALL IN-GROUND COMPONENTS

NOTE: ALL ABOVE DIMENSIONS ARE REFERENCE DIMENSIONS. REFER TO YOUR INDIVIDUAL COMPONENT INSTALLATION INSTRUCTIONS FOR DETAILS.

REFER TO SITE PLAN ENCLOSED FOR LOCATION OF FUTURE PHASE

COPYRIGHT 1992 BY:
 LANDSCAPE STRUCTURES INC.
 ALL RIGHTS RESERVED

IT IS THE MANUFACTURERS OPINION THAT THIS PLAYSTRUCTURE DOES NOT CONFORM TO ACCESSIBILITY REQUIREMENTS OF THE A.D.A. (AMERICANS WITH DISABILITIES ACT)



06-922435-B

PIPER PARK - PRESCHOOL STRUCTURE

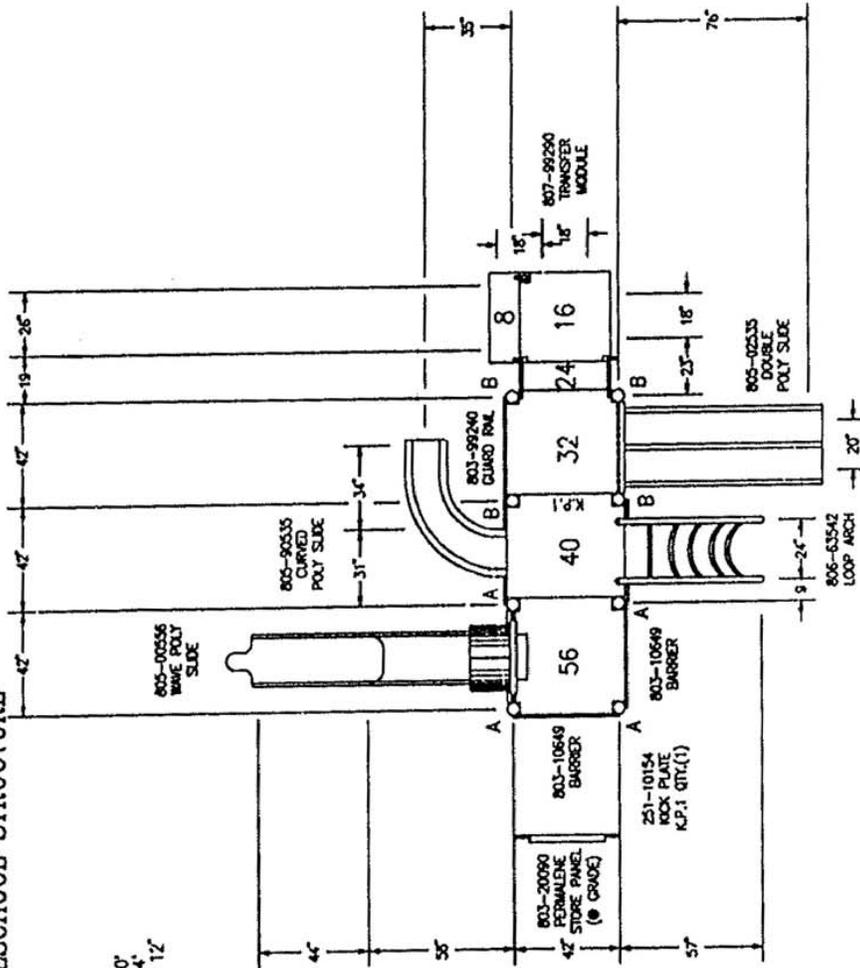
LARKSPUR, CA
 PLAYBOOSTER W/TENDERDECKS
 JOB # 0830106014
 ROSS' REC.
 1/7/93
 PO 15' X 20'
 15' X 34'
 27' X 34'
 ACTUAL SIZE:
 AREA REQUIRED:
 SCALE: 1/4" = 12"

PART B

SAFETY NOTE
 PLY COMPONENTS MUST BE PROTECTED
 FROM ALL WEATHER SURFACE

Do Not Scale Drawing

POST LENGTHS
 A = 132"
 B = 118"



NOTE: ALL CLAMPS ON THIS
 PLAYSTRUCTURE ARE TO BE BLUE
 UNLESS OTHERWISE NOTED BY THE
 INDIVIDUAL COMPONENT.

CONCRETE FOOTINGS REQUIRED
 ON ALL IN-GROUND COMPONENTS

NOTE: ALL ABOVE DIMENSIONS
 ARE IN INCHES. REFER TO
 YOUR MANUAL COMPONENT INSTALLATION
 INSTRUCTIONS FOR DETAILS.

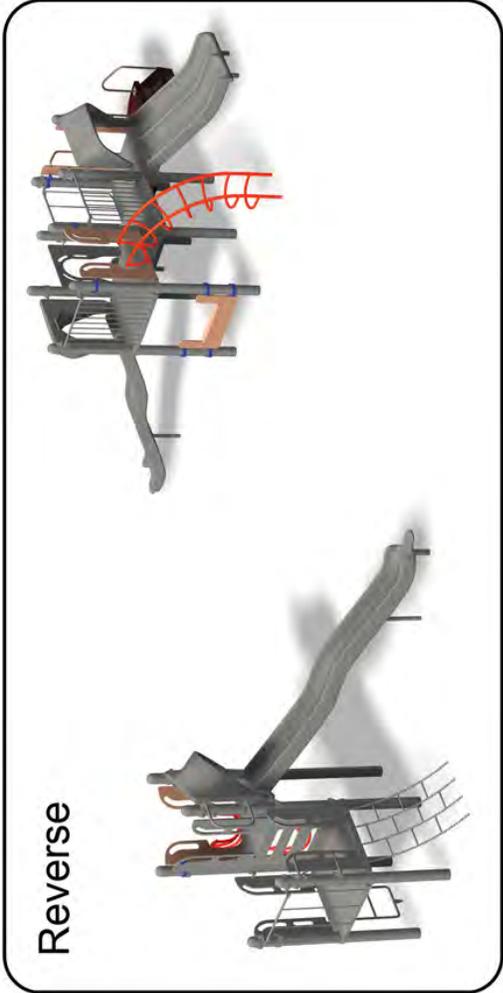
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 ALL RIGHTS RESERVED

IT IS THE MANUFACTURERS OPINION
 THAT THIS PLAYSTRUCTURE CONFORMS TO
 ACCESSIBILITY REQUIREMENTS OF THE A.D.A.
 (AMERICANS WITH DISABILITIES ACT)

LANDSCAPE
 STRUCTURES INC.

MANUFACTURERS OF CREATIVE EQUIPMENT FOR CHILDREN

Reverse



PIPER PARK RETROFIT		3/18/2011
LARKSPUR, CA	10650314-1-1	

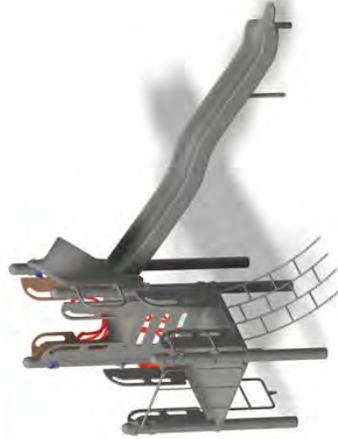
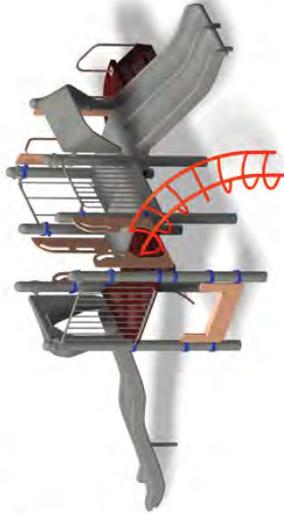
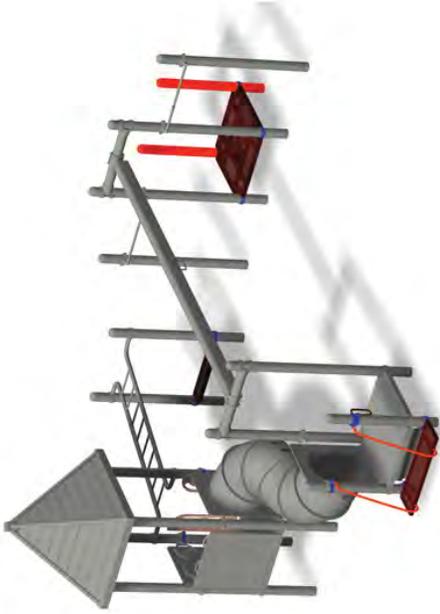
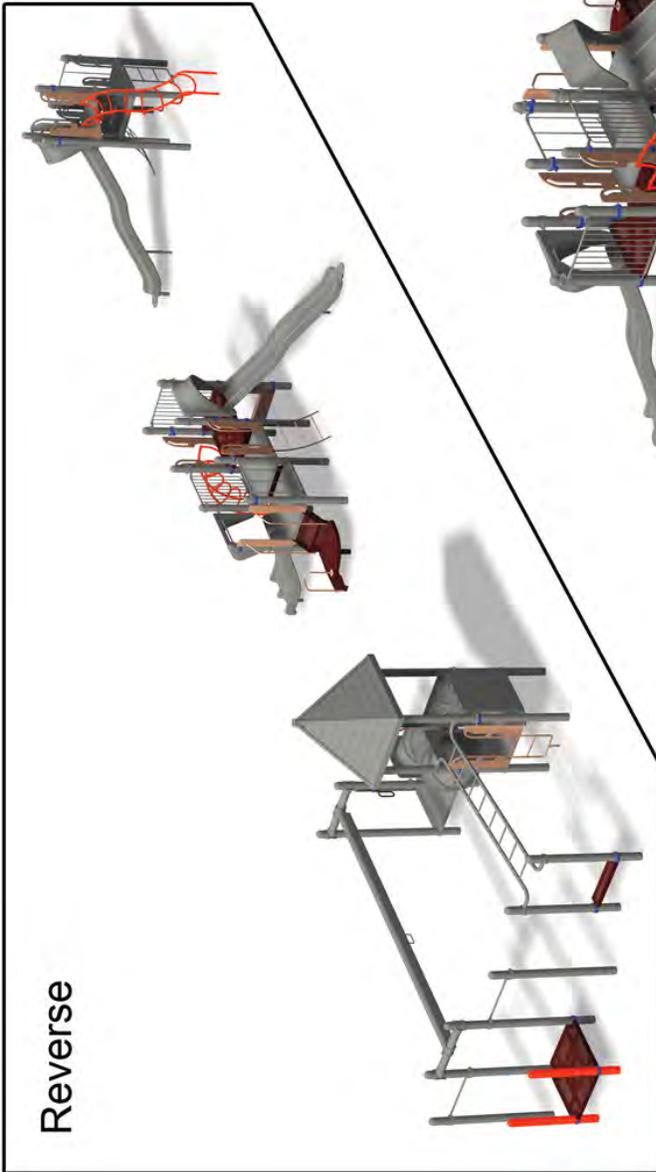


ROSS
recreation equipment



lrs
landscape
structures®

Reverse



lrs
landscape
structures®



ROSS
recreation equipment

PIPER PARK RETROFIT

LARKSPUR, CA 10650314-2-1

3/18/2011



The play components identified on this plan are ASTM certified. This use and layout of these components meets the safety requirements of ASTM F1487.

THIS PLAY AREA IS DESIGNED TO BE USED FOR AGES 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN. IT IS THE MANUFACTURER'S OPINION THAT THIS PLAY AREA DOES CONFORM TO THE ASSUMING AN ACCESSIBLE PROTOTYPE OR SURFACING IS PROVIDED AS INDICATED ON WITHIN THE DRAWING USE DASH.

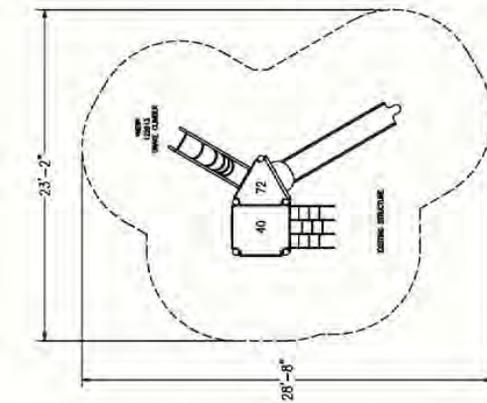
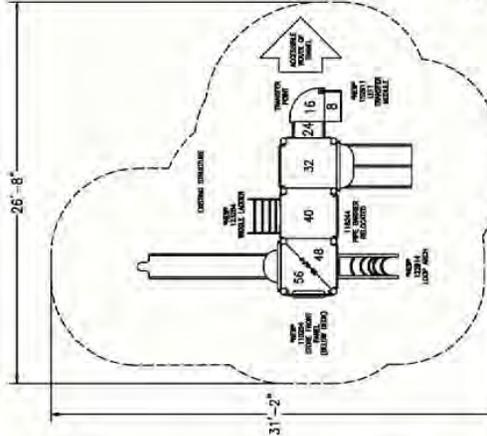
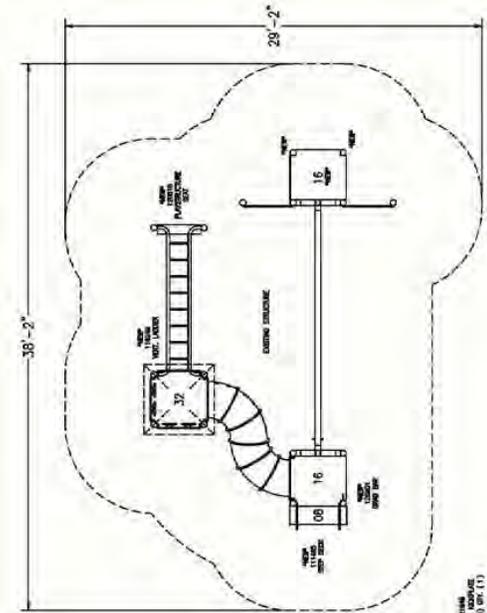
FOR ORDER A PROTECTIVE SURFACING MATERIAL AT LEAST THE THICKNESS OF THE PROTECTIVE SURFACING MATERIAL MUST BE AT LEAST THE THICKNESS OF THE PROTECTIVE SURFACING MATERIAL. PROTECTIVE SURFACING MATERIAL MUST BE USED IN ALL AREAS WHERE PLAYERS WILL BE IN CONTACT WITH THE PLAY AREA. ALL EXISTING UTILITIES, EQUIPMENT, AND SITE FEATURES SHOULD BE IDENTIFIED PRIOR TO THE APPROVAL SIGN.

ORDER A PROTECTIVE SURFACING MATERIAL AT LEAST THE THICKNESS OF THE PROTECTIVE SURFACING MATERIAL. PROTECTIVE SURFACING MATERIAL MUST BE USED IN ALL AREAS WHERE PLAYERS WILL BE IN CONTACT WITH THE PLAY AREA. ALL EXISTING UTILITIES, EQUIPMENT, AND SITE FEATURES SHOULD BE IDENTIFIED PRIOR TO THE APPROVAL SIGN.

DESIGNED BY:
CPC

COPYRIGHT: 3/17/2011 INC.
LANDSCAPE STRUCTURES, INC.
10101 W. 15TH AVENUE, SUITE 100
DENVER, CO 80202-1500 TEL: 303-751-0991

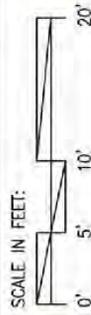
Date: Previous Drawing #: Title:



SCALE: AS SHOWN (1/4\"/>

DOES NOT INCLUDE ON SITE SWINGS

TOTAL ELEVATED PLAY COMPONENTS	14	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	8	8	REQUIRED	7
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	3	3	REQUIRED	5
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	2	2	REQUIRED	3



SYSTEM TYPE:
PLAYBOOSTER
DRAWING #:
50314-2-1

**ROSS RECREATION
EQUIPMENT CO., INC.**
JUDY OGBURN

PIPER PARK RETRO-FIT
LARKSPUR, CA



The play components identified on this plan are IPDA certified. This use and layout of these components meets the requirements of ASTM F 1487.

THIS PLAY AREA & EQUIPMENT IS DESIGNED TO MEET ALL REQUIREMENTS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE MANUFACTURER'S OPINION THAT THIS PLAY AREA DOES NOT CONFORM TO THE ADA ACCESSIBILITY GUIDELINES (ADAG).

THIS CONCEPTUAL PLAN WAS BASED ON INFORMATION PROVIDED BY THE ARCHITECTURAL/CONSTRUCTION/DETAILED SITE INFORMATION INCLUDING SITE ELEVATIONS, TOPOGRAPHY, UTILITY LOCATIONS, AND DRAINAGE PATTERNS. DAMAGE SOLUTIONS SHOULD BE OBTAINED FROM THE ARCHITECT. PLEASE VERIFY ALL DIMENSIONS OF PLAY AREA, SIZE, ORIENTATION, AND LOCATION OF SITE FURNISHINGS PRIOR TO ORDERING. FACE THE NET AT 15 DEGREE SUN.

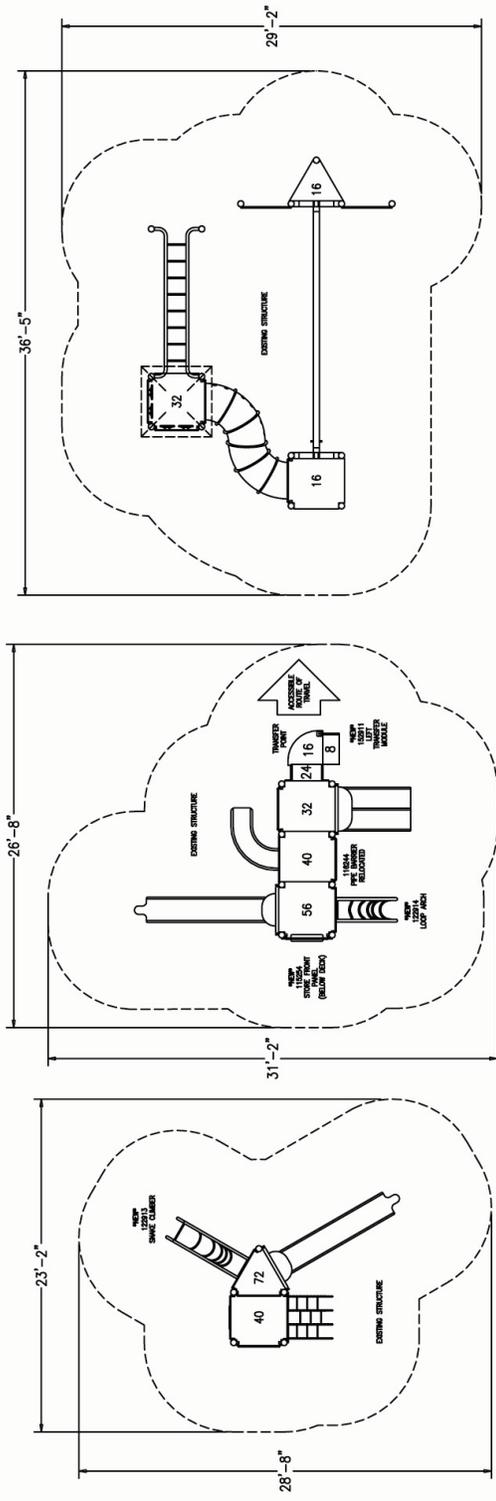
CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE OF 1/4" OR LESS. ACCESSIBLE PART/FULL HEIGHT OF THE PROTECTIVE SURFACING MATERIAL SHOULD BE PROVIDED PER SECTION 05310 (SEE CHAIRLINES, SECTION 10, SURFACING). ACCESSIBLE/PROTECTIVE SURFACING MATERIAL IS NOT TO BE ENGINEERED WOOD FIBER (SEE SUGGESTED).

DESIGNED BY:

GFC

CONCEPTS BY/DESIGNED BY:
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - PALM BEACH
FL 33480-3000-3003 FAX: 1-754-672-8001

Date: _____ Previous Drawing # _____



TOTAL ELEVATED PLAY COMPONENTS	14	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	2	REQUIRED	7
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	3	REQUIRED	5
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	2	REQUIRED	3

SCALE IN FEET:



PIPER PARK RETRO-FIT
LARKSPUR, CA

ROSS RECREATION
EQUIPMENT CO., INC.
JUDY OGBURN

SYSTEM TYPE:
PLAYBOOSTER
DRAWING #: 50314-1-1



Quote Sheet

Rep Organization: ROSS RECREATION
 Date: 3/17/2011 EQUIPMENT CO., INC. Quote No: 50314-1-1
 By: gcotten Contact Person: JUDY OGBURN

Project Title: PIPER PARK RETRO-FIT Location: LARKSPUR, CA
 Style: PlayBooster® Posts: Aluminum Phone No:
 Age: 5-12 y Bury Type: Direct Bury

PHASE-1		UNIT		TOTAL		
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2011)
CLIMBERS						
1	122914B	Loop Arch 56"Dk DB	80.0	1,040.00		
1	122913B	Snake Climber 72"Dk DB	130.0	1,300.00		
ENCLOSURES						
1	115254A	Storefront Panel	24.0	415.00		
DECKS						
1	152911A	Curved Transfer Module Left 32"Dk DB	195.0	1,605.00		
SUMMARY						
PHASE-1	PlayBooster®		WEIGHT (lb)	PRICE (2011)	WEIGHT (lb)	PRICE (2011)
			429.0	4,360.00		



Piper Park History

PIPER PARK

Larkspur's green and rambling Piper Park, a 43-acre gem nestled along Corte Madera Creek, wasn't always as gorgeous as it is today. It used to be a dump!

At a time when marshes were considered a waste that ought to be filled in order to be productive, Marin residents began to toss their junk onto the site adjacent the creek.

In the early 1940's, the Larkspur City Council decided to buy the fill area for \$3 per acre. That move almost resulted in a recall, as outraged citizens called the purchase fiscally irresponsible.

But the city quickly put the land to use by operating a dump there on weekends. Eventually, Larkspur turned it over to the county for a seven days-a-week operation.

By the late 1950's, Larkspur sold part of the land for two school sites, one for the Henry C. Hall Elementary School, and the other for Redwood High School. The city retained about 43 acres, including what has emerged as 26 acres of "clean" fill.

Larkspur's first city manager, Ronald E. Piper, and present Public Works Chief, Warren Mistrion, had big dreams about a higher land use for the area. They drew up a grand plan for transforming it into a park. By the mid 1960's, the first ball diamond was in. Piper, for whom the park is named, returned to the site after his resignation and threw out the first ball. After the Babe Ruth League donated the backstop and two sets of bleachers, the field flourished under a generation of baseball enthusiasts who referred to it as Bundy Field. Bundy was the name of Larkspur's recreation supervisor under Kent Bathurst, the city's second city manager.

In 1973, the Parks and Recreation Commission sought the help of Arbegast and Newton, landscape architects, in designing a master plan for Piper Park. The commission, concerned about the ecology of the marsh and the creek, directed Bill Newton to come up with a plan compatible with both.

When the plan was completed Larkspur Recreation Director Sheldon Zatzkin worked closely with City Manager Harlan Barry to locate development funds. The plan could hardly become a reality without money.

Ultimately, sufficient funds were raised to pay for Phase I; the parking lot, second ball diamond and tennis courts. Construction of these was difficult because of what lay underneath. On the soft fill, the huge asphalt laying machine almost became a permanent fixture. It sank. Furiously, it lay down asphalt, building a solid base upon which to drive itself out.

After completion of Phase I in 1976, Piper Park saw much use and became a popular center for soccer, tennis and softball enthusiasts. Big gaps still remained. It was still part park, part dump.

Finally, Larkspur was able to gather together sufficient funds to begin Phase II..Restrooms and a storage area, soccer field, group picnic area and public dock on Corte Madera Creek have just been completed.

The \$450,000 raised for Phases I and II has been stretched with careful planning and much difficulty. In fine grading the back fields prior to laying irrigation pipe and hydromulching, work crews uncovered piles of tires and refrigerators which were supposed to have been under three feet of top fill. There was only about six inches of fill.

In addition to its recreational facilities, Piper Park now boasts more than 200 trees, including white alder, Monterey pines, Arizona cypress, black acacia, coast redwood and ceanothus.

The park is not quite finished. The front entrance is bare, the children's play areas need better drainage and some equipment. There's talk of putting in a community garden and a par-course. Funds for Phases I and II have come from local development fees; federal, state and county grants; and private contributions. City officials hope it won't be too long before the third and final phase of the park can be completed. That depends on when enough money can be raised to fund it.

City officials are confident that Piper Park will be completed. After all, they have already transformed it from a dump into one of Marin's nicest recreation spots. The rest should be easy.

##

Piper Park

Appendix - H

Community Garden Rules & Regulations

**CITY OF LARKSPUR
COMMUNITY GARDEN RULES AND REGULATIONS
2011**

1. Assignments of plots:

- a. Garden plots are assigned by the Recreation Department. All new gardeners must show proof of Larkspur Residency.
- b. Plots are limited to one per household. As there is currently a waiting list for garden plots, there will be no 2nd provisional plots assigned this year.
- c. The person named on the garden lease is to be the same person who attends garden workdays or performs an alternative task and who is the main gardener of the plot. Garden helpers may not replace nor act as surrogates for this responsibility.
- d. A waiting list is kept at the Recreation Department. As plots become available, assignments are made in the order in which they appear on the waiting list.
- e. Transfer of a plot assignment, by a gardener, is not permitted. All garden transfers must be handled by the Recreation Department.
- f. Renewal deadline is February 17 each year.

2. Residency requirement adopted by the City Council 11/20/96:

Gardeners who move from Larkspur and move beyond Corte Madera, the unincorporated parts of Greenbrae or Kentfield, must relinquish their plot to the next renewal season.

3. Maintenance of Plots:

a. All plots must be maintained in a manner acceptable to the Garden Coordinators and the Recreation Department. Each gardener is a steward of the land and is responsible for the maintenance of the garden plot to which they have been assigned. Maintenance includes soil care, planting, watering, weeding, harvesting and any additional garden upkeep. All aisles immediately surrounding your plot are considered part of your garden responsibility and must be kept free of weeds, trash, and all obstacles.

Do not plant any plants nor put up any devices, fencing or support structures in any common areas (any area outside your own garden plot).

b. If your garden plot remains undeveloped or unattended for 30 days or more, you will be notified by one of the Garden Coordinators. A garden reminder may be given if a plot is excessively weedy or is filled with debris or overripe produce. Failure to care for your plot will result in termination of your lease.

c. In this organic garden, toxic chemical pesticides or herbicides, are not allowed. The Garden Coordinators can give you advice on organic methods for controlling insect pests or organic fertilizers. Only organic fertilizers, mulch and compost may be used. Natural compost is produced onsite and available to all.

d. Use designated areas for compost and debris. Any trash, weeds, and unwanted plants from your plot and aisles need to be placed outside in the parking lot dumpster.

e. Gardeners may establish their own layout of beds and paths within the dimensions of their assigned garden plots. All fencing or support structures must be installed on either the east or west end of your garden (north placement causes shade for your neighbor). Any such structures must stand independently, completely within the plot, and may not shade other plots. All structures and supports must be made of easily removable materials. Nothing may be nailed into or attached to the wooden border.

All plans for drip and soaker systems need to be reviewed by a Garden Coordinator prior to installation. All drip and soaker systems must be disconnected from October through March. This will help to avoid freezing problems during the Winter.

f. "Be considerate of your neighbors." All gardeners must keep plants etc... in their own plots. Don't let your plants or weeds creep into the aisles or into your neighbor's plot. Larger plants such as corn or sunflowers need to be planted at the center of your plot so they do not shade your neighbor's plants. If an adjacent plot's gardener complains of excessive shading by anything on your plot, you must come to an agreement or remove it.

g. Crops need to be harvested once they are mature. If you do not feel you will use all your harvest, please donate to our Food Bank.

h. Except with permission do not enter or pick from others' plots, even if you think the plot has been neglected. Harvest only from your assigned plot. Taking food or damaging others' plots will be grounds for forfeiture of your plot. Complaints should be brought to the attention of the Garden Coordinators for review and action.

i. Plant Restrictions: Do not plant **mint, raspberries, Jerusalem Artichoke, horseradish or Oenothera (Mexican and Pink Evening Primrose)**. These are very invasive and vigorous, hard to remove and get out of control fast. Gardeners may plant them in containers if the roots don't escape.

No trees are to be planted in any garden plot.

Anyone found growing drug-producing plants, not only will forfeit their garden plot, but will also be subject to prosecution. Periodic inspections will be made of all garden plots to determine if such plants are being grown.

j. Upon termination of your lease: When leaving, all gardeners are expected to completely clean their plot of all weeds, all plants, tomato cages, wood, debris, etc... You may either accomplish this yourself or pay someone to complete it before you leave. Do not leave anything in the tool shed.

4. Gardeners are expected to participate in our March and October Community Workday Gatherings each year.

Before the Workday Gathering, gardeners have the responsibility to prepare their own garden plot for Spring start-up planting and again for Winter season clean-up and to weed their aisles. Any gardener unable to participate in a Community Workday Gathering is required to complete an alternative task before the Workday.

On occasion, gardeners may be asked to participate in special projects if/ when the need arises.

5. Children must be supervised by an adult.
6. No pets in the garden.

7. The garden area is open dawn until one hour after sundown, seven days a week. The lock is always placed in the same "hidden spot". Keep gates in the garden **closed at all times** with center pole placed in the ground holding the gates secure. When leaving the garden, check to see if you are the last person inside. If so, please securely lock the gate. Change all four numbers. The combination is our secret. The garden is to be **locked** at all times **when not in use**. Everyone who helps you with your garden watering etc... needs to understand this too.

----If vandalism or theft occurs, immediately contact one of the Garden Coordinators. Discourage losses by becoming familiar with the other plot holders. You are the eyes and ears of our garden security. Please be aware.

8. No smoking in the garden.

COMPOST AREA

Gardeners are encouraged to add their garden and home cuttings and fruit and vegetable waste to the **designated compost area**. Follow the **compost rules** for acceptable materials and the **posted signs** for how and where to place the materials on any given day.

COMPOST RULES

1. Cut pieces to 12" or less. No corn, corn stalks, sunflowers or large roots. -They just don't break down.
2. No weeds at all. Period! We don't want them recycled into our gardens. -If you don't want it, don't give it to us.
3. No Tomatoes or Tomato plants. -Prevent the spread of any tomato diseases.
4. No Thorns (roses, raspberries, etc...) - They hurt our hands.
5. No diseased plants.
6. Kitchen vegetable scraps are good. Cover with wood chips to deter flies and rats.
7. No meat scraps, kitchen oils or bread. -These attract rats
8. No waste from dogs, cats, and birds. -This can contain organisms harmful to humans.
9. Non organic wastes, wood, wire, plastics, etc..., and any questionable items need to go to the parking lot dumpster, NOT THE COMPOST AREA.
10. Cover any organic waste you place on the compost pile with wood chips or other dry, organic material. Please moisten with hose.

Wood chips and compost are available for everyone to share. Please take a moderate amount so we all may benefit. Gardeners are encouraged to occasionally help move some compost from one bin to another.

Our Orchard: Harvests are available for our gardeners to share. We invite each gardener to enjoy a few pieces of fruit so all may be able to partake.

Fallen fruit on the ground should be picked up and put into cans or the compost. Mummified old fruit on the tree needs to be removed- it prevents diseases next year. All gardeners are asked to help at one of our 3 orchard days to thin fruit, prune trees, and pull weeds, etc... and to join in caring for our orchard.

The Color Gardens were established to be a part of the Orchard perimeter to bring pollinators and beneficial insects into our Orchard and gardens. Color Gardens are also meant to showcase our Orchard.

The Color Gardens include:

-single color- (1 color only in flower)

-bicolor- (2 colors in the flower or bicolor leaves)

-designer theme (e.g. butterfly attraction, grey leaf, California native).

Their plant height and garden width are predetermined and regular maintenance is needed.

Color Gardens require a commitment of time, talent and treasure and are available for adoption. If interested, ask any Garden Coordinator. These gardens are not available for other gardeners to share or pick flowers.

Tool Shed: Use equipment and tools owned in common responsibly and treat them with care. Replace a tool if it breaks when you are using it. Return tools clean when done - use sand pit to remove dirt or wash off with water. We always accept extra tools from home. Store them neatly and securely for the safety and convenience of fellow gardeners. Tools are not to be taken home overnight.

The white board in the tool shed is a way for all of us to stay in touch. Please use it for garden-related purposes.

Do not leave used tomato cages, poles, containers, etc... in the tool shed. If unwanted, use the parking lot dumpster.

Helpful Guidelines:

1. Gardeners replace or repair their damaged hoses and hose hangers. Speak with gardeners around you if you want to share expenses, or just buy a new one. NOTE: Turn off hose from the faucet completely, not from hose sprayer. Pressure left in hose will cause it to break down faster. Keep hose washers in good condition. Re-hang hoses.
2. Report all leaks and wood border damage to Garden Coordinators.
3. Public Works will repair faucets and hose posts and wooden borders.
4. To retain water, use mulch. Apply a 2-6" layer of mulch. Use compost, peat moss, cocoa bean hulls, sawdust, newspapers or shredded cardboard, wood chips, shredded bark, straw, grass clippings, leaves, etc... Mulch also reduces weeds.
5. Do not fill deep trenches or ditches with water. Instead, cultivate and water each plant. Please conserve water! Make each drop count. Use drought-resistant varieties when possible. Do not water at midday when water evaporates quickly. Do not leave the plot unattended while watering.
6. To be informed about garden news or changes, gardeners should notify one of the Garden Coordinators of any changes in *contact information*, (phone number, email, mailing address), from their original application.
7. To maintain the garden as a peaceful place, we discourage the use of amplified music, (boom boxes, radios, etc...), and loud cell phone conversations.
8. Garden Coordinators are responsible for ensuring that the rules are followed at all times.
9. Check bulletin board at garden site and garden website at www.larkspurgarden.org for updates.
10. Notify the Recreation Department or the Garden Coordinators if there is a problem at the garden site.

Your compliance with the above regulations will help everyone have an enjoyable and prosperous garden.

Recreation Department: 927-5003 Dick Whitley
Garden Coordinators: 924-8618 Stephen Conner - oversees entire garden
789-0118 Jay Shirley - Tool Shed, gardens #43-54
927-7647 Katherine Jones - Orchard
925-1314 Betsy McGee - Compost, gardens #25-42
461-3210 Paul Da Silva - gardens #60-79

Piper Park

Appendix - I

CITY OF LARKSPUR
TREE & BENCH DONATIONS POLICY



TREES & BENCHES

City of Larkspur Donations Policy

The City of Larkspur gratefully accepts donations of trees, park benches and/or monetary contributions for the city's parks. The following guidelines have been developed to assist you with the donation process.

TREES: Fifteen-gallon trees may be donated for \$150. Larger trees may also be donated, with prices ranging from approximately \$300-\$500. Price includes planting and soil amendments.

Donors should select two or three varieties of trees from our list of desirable trees, as well as the park where you would like the tree to be planted. We will work with the Department of Public Works in finding a suitable location within the park of your choice.

The planting will be done by the Department of Public Works, or under their supervision, at a location mutually agreed upon. The location and species of the tree must be approved by the City. The City cannot guarantee the health of the tree, but will care for the tree as a part of the regular park tree maintenance program.

Plaques are not allowed beside the tree, however, there is a leather-bound book kept at City Hall in which donors may record where the tree is planted and in whose memory. Pictures and text may also be recorded.

BENCHES: Park benches with a 2" x 12" plaque may be donated for \$1,200. Donors should identify the park or path where you would like to have the bench placed. We will work with the Department of Public Works in finding a suitable location within the park or along a path of your choice.

The City cannot take responsibility for the condition of the bench should it be damaged by vandalism or natural disaster, but will include maintenance of the bench with regular maintenance of park equipment.

To see our list of desirable trees or obtain the form for wording on a bench plaque, please visit the Larkspur Recreation Office in Piper Park. If you have any questions, please call the Larkspur Recreation Department at 927-6746.

